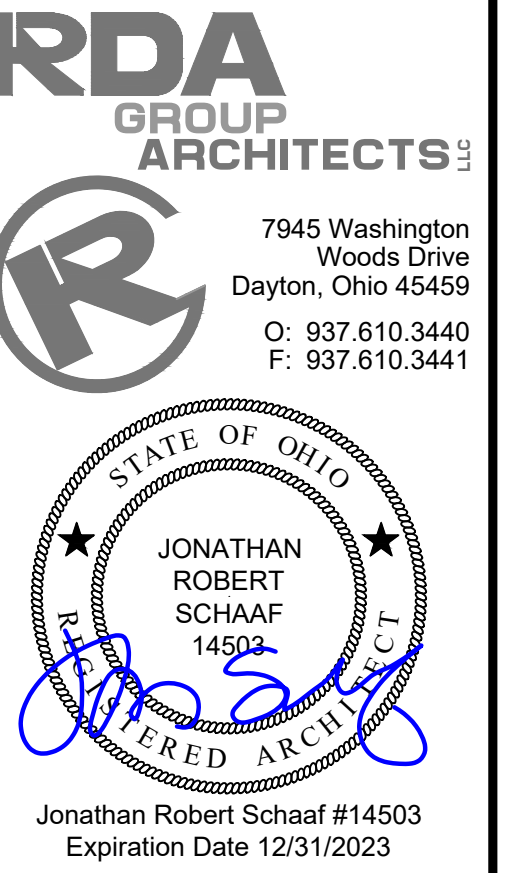


Window and Door Replacement 2023

Metropolitan Village

Warren Metropolitan Housing Authority

990 E. Ridge Drive Lebanon, Ohio 45036



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PROJECT TEAM

ARCHITECT:



OWNER:



WARREN METROPOLITAN HOUSING AUTHORITY

990 EAST RIDGE DRIVE
LEBANON, OHIO 454
(513) 695-3380

SHEET INDEX

G1.1	PROJECT INFORMATION / SITE PLAN
A1.1	OVERALL BUILDING PLAN/ ENLARGED UNIT PLAN/ PARTIAL EXTERIOR ELEVATION
A2.1	SCHEDULES / DETAILS

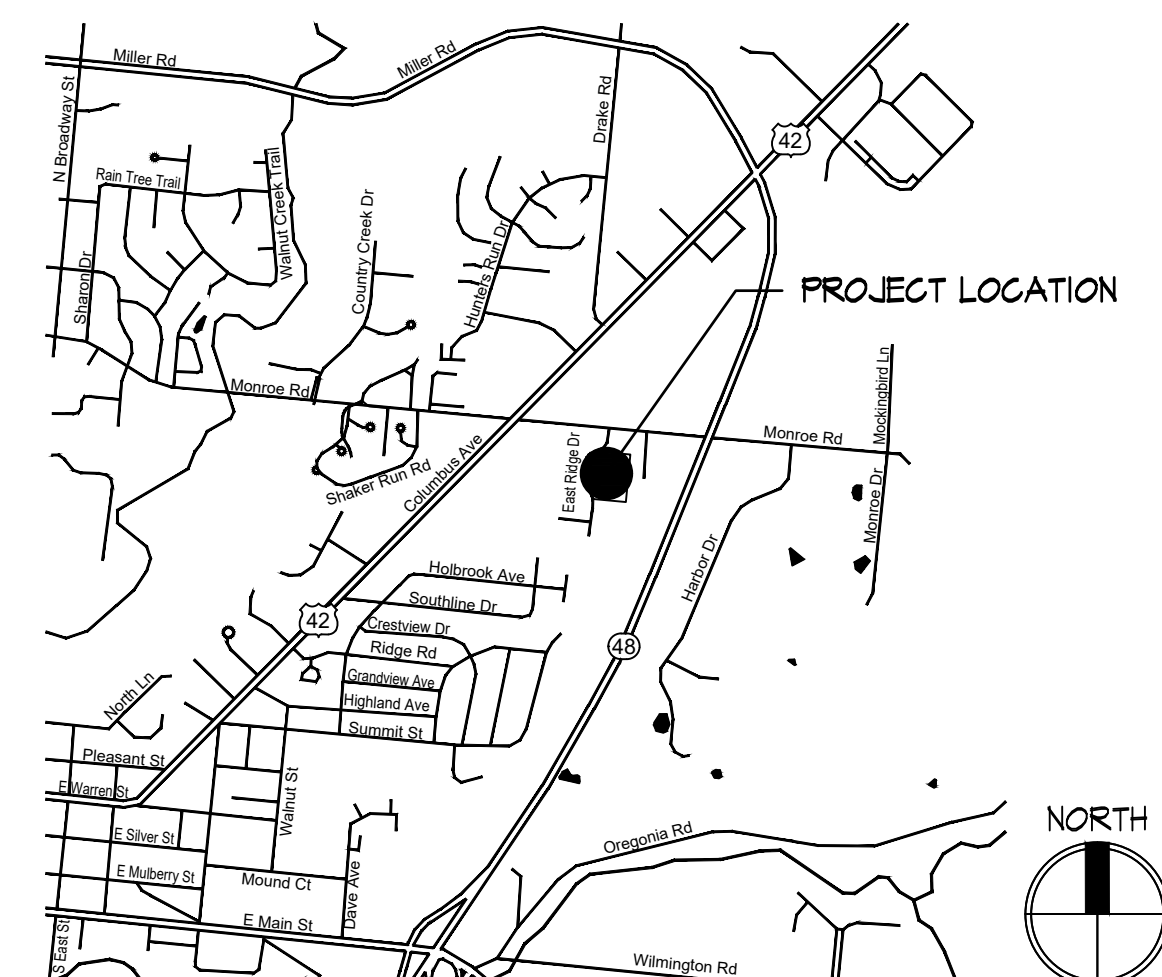
CODE REVIEW

CONSTRUCTION TYPE: V B

USE GROUP:
R-3, MULTI FAMILY RESIDENTIAL

THIS PROJECT INCLUDES WINDOW AND EXTERIOR DOOR REPLACEMENT. NO CHANGE TO EXISTING BUILDING STRUCTURE ARE PROPOSED AS PART OF THIS PROJECT. NO CHANGES TO EGRESS COMPONENTS OR OCCUPANCY, NO CHANGE IN HEIGHT OR BUILDING AREA.

VICINITY MAP

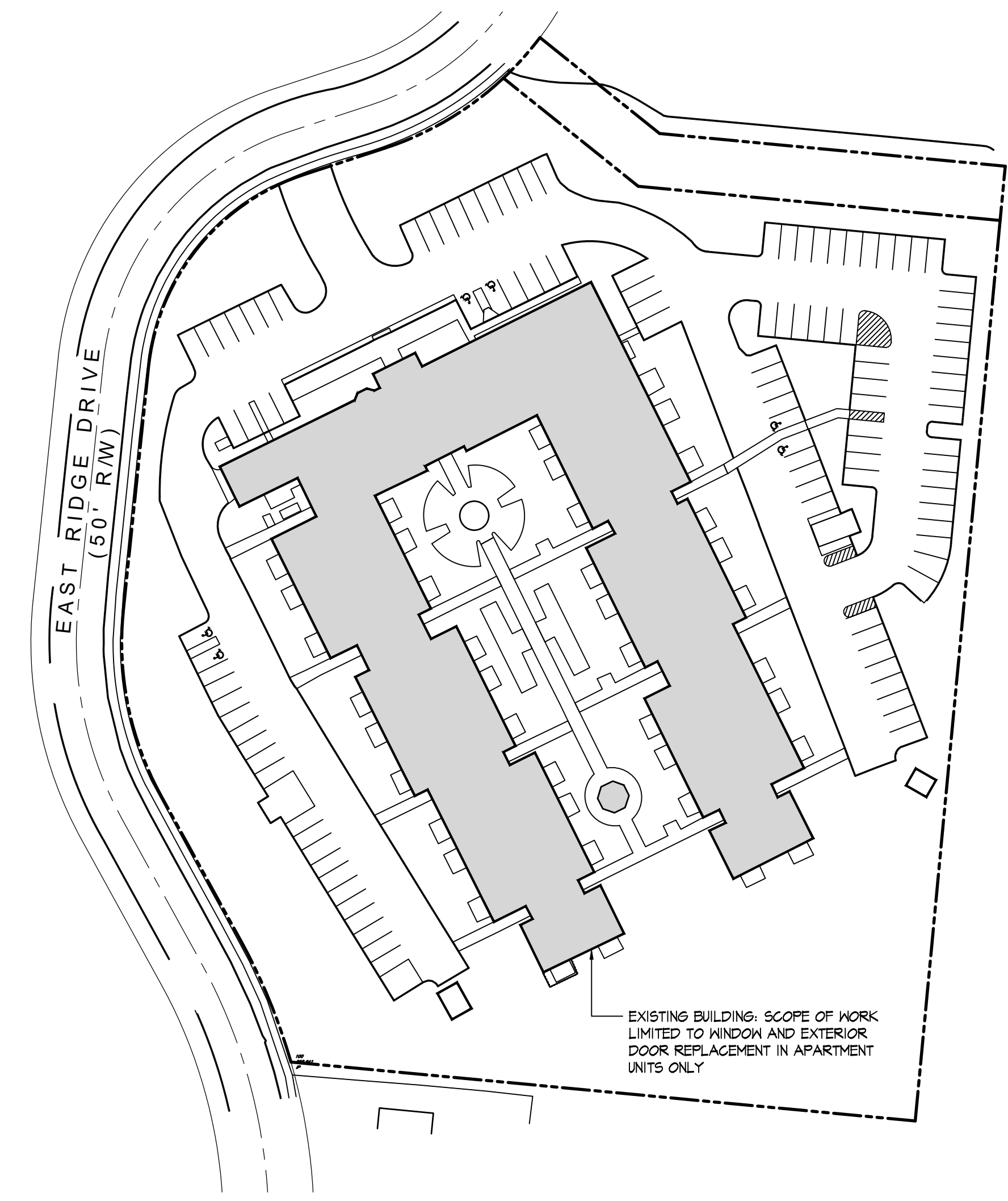


GENERAL PROJECT NOTES / REQUIREMENTS

- THE INTENT OF THESE DOCUMENTS IS TO REPLACE EXISTING WINDOWS AND DOORS WITH NEW ENERGY STAR RATED VINYL WINDOWS AND DOORS AND RELATED WORK AT METROPOLITAN VILLAGE HOUSING SITE INCLUDING ANCILLARY WORK AS INDICATED. WORK TO BE COMPLETED IN ALL BUILDING AT THIS SITE.
- UNITS WILL BE OCCUPIED DURING CONSTRUCTION. CONSTRUCTION ACTIVITIES SHALL BE CLOSELY COORDINATED WITH WMA AND THE DESIGN TEAM TO MINIMIZE THE IMPACT ON THE RESIDENTS - REFER TO SPECIFICATIONS. CONTRACTOR SHALL INCLUDE ANY ADDITIONAL COSTS FOR PROJECT SCHEDULING AS INDICATED HEREIN AND WITHIN SPECIFICATIONS.
- CONTRACTOR SHALL ASSIST RESIDENTS IN RELOCATION OF FURNISHINGS, ETC. FROM WORK AREAS. CONTRACTOR SHALL REPLACE SAME UPON COMPLETION OF WORK. CONTRACTOR SHALL USE ALL MEASURES NECESSARY TO MINIMIZE DUST/DIRT/DEBRIS FROM ENTERING OTHER PORTIONS OF THE UNIT. PROVIDE ALL TEMPORARY PROTECTION REGD. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO RESIDENT FURNISHINGS, ETC. OBTAIN SIGNOFF FROM EACH RESIDENT UPON COMPLETION OF WORK IN THAT UNIT INDICATING ACCEPTANCE OF CONDITIONS, FURNISHINGS, ETC.
- MAINTAIN ALL REQUIRED PATHS OF EGRESS DURING CONSTRUCTION. PROVIDE PROTECTIVE BARRICADES AND BARRIERS AT BUILDING ENTRANCES AS NECESSARY TO MAINTAIN SAFE INGRESS/EGRESS.
- CONTRACTOR SHALL USE ALL MEASURES NECESSARY TO MINIMIZE DUST/DIRT/DEBRIS FROM ENTERING INTERIOR PORTIONS OF THE BUILDING. PROVIDE ALL TEMPORARY PROTECTION REGD.
- THE GENERAL CONTRACTOR SHALL EXAMINE ALL EXISTING CONDITIONS, DIMENSIONS, AND ELEVATIONS PRIOR TO CONSTRUCTION FOR ACCURACY AS SHOWN WITH THE INTENT OF THESE DRAWINGS. NOTIFY THE ARCHITECT IF ANY DISCREPANCIES ARE DISCOVERED. COMMENCEMENT OF WORK IMPLIES ACCEPTANCE OF CONDITIONS.
- DRAWINGS MAY INDICATE TYPICAL CONDITIONS WHICH MAY VARY SLIGHTLY FROM AREA TO AREA. CONTRACTOR SHALL CONFIRM ALL EXISTING CONDITIONS.
- ALL WORK SHALL CONFORM TO THE 2017 OHIO BUILDING CODE AND ALL OTHER LOCAL GOVERNING CODES. GENERAL CONTRACTOR TO APPLY, BE RESPONSIBLE FOR COORDINATION OF, AND PAY FOR ALL REQUIRED PERMITS. WORK SHALL NOT BEGIN UNTIL ALL NECESSARY PERMITS ARE OBTAINED.
- ALL WORK, FINISHES, FIXTURES, AND ACCESSORIES SHALL BE IN FULL COMPLIANCE WITH THE DRAWINGS AND SPECIFICATIONS. ENSURE THAT ALL MATERIALS AND ACCESSORIES ARE PROVIDED TO ENSURE COMPLIANCE.
- THE GENERAL CONTRACTOR SHALL LOCATE ALL EXISTING ITEMS THAT MAY IMPACT INTENDED WORK PRIOR TO PROCEEDING WITH WORK. REPORT ANY CONCEALED ELEMENTS OR DIFFERING CONDITIONS WHICH MAY AFFECT CONSTRUCTION TO THE ARCHITECT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING BETWEEN WORK OF OTHER TRADES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASPECTS OF CONSTRUCTION SAFETY; COMPLIANCE TO BE IN ACCORDANCE WITH ALL STATE, FEDERAL, AND O.S.H.A. REGULATIONS. THIS INCLUDES APPLICABLE FIRE WATCH FOR ANY HOT WORK TO BE CONDUCTED AS PART OF THE PROJECT.
- CONTRACTOR TO INSTALL ALL MATERIALS, APPLIANCES, ETC. ACCORDING TO MANUFACTURERS SPECIFICATIONS, RECOMMENDATIONS, AND INSTRUCTIONS, WHETHER A COMPLETE SYSTEM OR A COMPONENT PART OF A COMPLETE CONSTRUCTION SYSTEM.
- DO NOT SCALE DRAWINGS. CONTRACTOR AND ALL SUBCONTRACTORS ARE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS/EXTENT OF WORK REQUIRED AND INFORMATION IN THESE DRAWINGS GOVERNING THEIR SCOPE OF THE WORK. ALL ERRORS, OMISSIONS, AND INCONSISTENCIES IN THESE DRAWINGS WHICH ARE DISCOVERED ARE TO BE REPORTED TO THE ARCHITECT IMMEDIATELY, BEFORE PROCEEDING WITH THE WORK. ANY SITE OR JOB CONDITIONS THAT ARISE AND CAUSE THE CONTRACTOR TO VARY FROM THE CONTRACT DOCUMENTS SHALL BE ANALYZED BY AND ARE THE RESPONSIBILITY OF THE CONTRACTOR IF THEY ARE NOT REPORTED TO THE ARCHITECT BEFORE PROCEEDING WITH WORK.
- DIMENSIONING:
A. ALL DIMENSIONS ARE APPROXIMATE AND SUBJECT VERIFICATION IN THE FIELD.
- CONTRACTOR SHALL PROVIDE ON-SITE SECURABLE CONSTRUCTION MATERIALS STORAGE AND TRASH DUMPSTER FOR THE PROJECT. LOCATE IN AN APPROVED LOCATION COORDINATE WITH THE OWNER. IT IS THE CONTRACTOR'S RESPONSIBILITY FOR PROVIDING REQUIRED SECURITY/PROTECTION MEASURES.
- CONTRACTOR SHALL CLEAN THE CONSTRUCTION SITE ON A DAILY BASIS FROM ALL CONSTRUCTION DEBRIS. SITE MUST BE KEPT IN A NEAT ORDERLY FASHION AT ALL TIMES. THIS INCLUDES UTILIZING A MAGNET TO PICKUP NAILS, ETC. AROUND THE GROUNDS AND PARKING AREAS.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY MAN-LIFTS, CHUTES, LADDERS, ETC. FOR THE PROPER EXECUTION OF THE WORK.
- THE CONTRACTOR SHALL EXAMINE ALL EXISTING CONDITIONS AND FIELD VERIFY ALL CONDITIONS, DIMENSIONS, SLOPES, DETAILS, ETC. PRIOR TO THE START OF WORK. REPORT ANY CONCEALED COMPONENTS THAT MAY AFFECT CONSTRUCTION. THE CONTRACTOR SHALL CONFIRM ALL EXISTING DIMENSIONS AND LOCATE EXISTING DRAINS, CURBS, PENETRATIONS, ETC. PRIOR TO THE START OF NEW WORK. DO NOT SCALE THE DRAWINGS. ANY ERRORS, OMISSIONS, AND/OR INCONSISTENCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION.
- START OF WORK IMPLIES ACCEPTANCE OF ALL EXISTING CONDITIONS. NOTIFY ARCHITECT OF ANY DEVIATIONS OR DISCREPANCIES FROM THE INTENT OF THE DOCUMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING BETWEEN OTHER TRADES, SUB-CONTRACTORS, ETC. AS APPLICABLE.
- THE CONTRACTOR SHALL INSTALL ALL MATERIALS, FLASHINGS, TERMINATIONS, ETC. ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS, RECOMMENDATIONS, AND INSTRUCTIONS, WHETHER A COMPLETE SYSTEM OR A COMPONENT PART OF A COMPLETE CONSTRUCTION SYSTEM. BY THE NATURE OF THE WORK, IT IS DIFFICULT TO IDENTIFY ALL POSSIBLE DETAIL CONDITIONS, REQUIRED FLASHINGS, ETC. COORDINATE ALL APPLICABLE DETAILS WITH THE MANUFACTURER FOR ACCEPTANCE.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN A COMPLETE SET OF SDS SHEETS FOR ALL MATERIALS USED ON THE PROJECT ON THE PROJECT SITE.
- ALL WORK SHALL BE COORDINATED TO MINIMIZE DISTURBANCE TO THE BUILDING OCCUPANTS. THE CONTRACTOR SHALL COORDINATE SHUT DOWN OF HVAC / VENTILATION SYSTEMS, ETC. A MINIMUM OF 48 HOURS PRIOR TO ANY DISRUPTION OF SERVICE.
- THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE ADEQUATE PROTECTION FROM VAPORS, FUMES, SMELL, ETC. FROM ENTERING THE BUILDING TO THE BEST OF THEIR ABILITY. PROVIDE PROTECTION OF EXISTING SYSTEMS AS REQUIRED, COORDINATE WITH THE OWNER.
- PROJECT STAGING AREA SHALL BE COORDINATED WITH THE OWNER.
- NO DEBRIS SHALL BE LEFT ON THE GROUNDS AROUND THE BUILDING AT ANY TIME.
- AT THE END OF EACH WORK DAY, ALL WORK SHALL BE COMPLETED IN SUCH A MANNER TO BE ADEQUATELY SEALED WATERTIGHT. ALL PROVISIONS MUST BE TAKEN TO MINIMIZE ANY LEAKS INTO THE BUILDING.

ABBREVIATIONS

ADAAG	AMERICANS WITH DISABILITIES ACT
AFF	ACCESSIBILITY GUIDELINES
ALUM	ABOVE FINISH FLOOR
ATC	ALUMINUM
BLKG	ACOUSTIC TILE CEILING
BET	BLOCKING
BLDG	BETWEEN
BRG	BUILDING
BTH	BEARING
CL	BOTTOM
CLG	CAST IN PLACE
CT	CENTERLINE
CLR	CEILING
COL	CERAMIC TILE
CPT	CLEAR
COMM	COLUMN
CONC	CARPET
CONJ	COMMUNITY
CONT	CONCRETE
DF	CONCRETE MASONRY UNIT
DIA	CONTINUOUS
DSL	CONTROL JOINT
DTL	DRINKING FOUNTAIN
DN	DIAMETER
ELEV	DOWNSPOUT
EQ	DETAIL
EX	DISH WASHER
FD	ELEVATION
FDN	EQUAL
FE	EXISTING
FF	FLOOR DRAIN
FIN	FOUNDATION
FSE	FIRE EXTINGUISHER
FTG	FINISH FLOOR
FV	FINISHED
GA	FIRE RETARDANT TREATED
GYP BD	FOOD SERVICE EQUIPMENT
GC	FOOTING
HM	FIELD VERIFY
HT	GAUGE
HOR	GYPSUM BOARD
MAX	GENERAL CONTRACTOR
MECH	HOLLOW METAL
MO	HEIGHT
MTD	HORIZONTAL
NIC	MAXIMUM
NTS	MECHANICAL
OG	MASONRY OPENING
OGS	MOUNTED
PTD	NOT IN CONTRACT
RAD	NOT TO SCALE
REF	ON CENTER
REQ'D	OPENING
RD	PAINTED
QT	RADIUS
RO	REFRIGERATOR
SIM	REQUIRED
SM	ROUGH OPENING
SPEC	SIMILAR
SS	SHEET METAL
SQ	SPECIFICATION
TOP	STAINLESS STEEL
TYP	SQUARE
UFAS	TOP OF
WAF	TYPICAL
	UNIFORM FEDERAL ACCESSIBILITY STANDARDS
	WELDED WIRE FABRIC



A REFERENCE ARCHITECTURAL SITE PLAN
SCALE: 1" = 60'-0"
0 30 60 120
NORTH

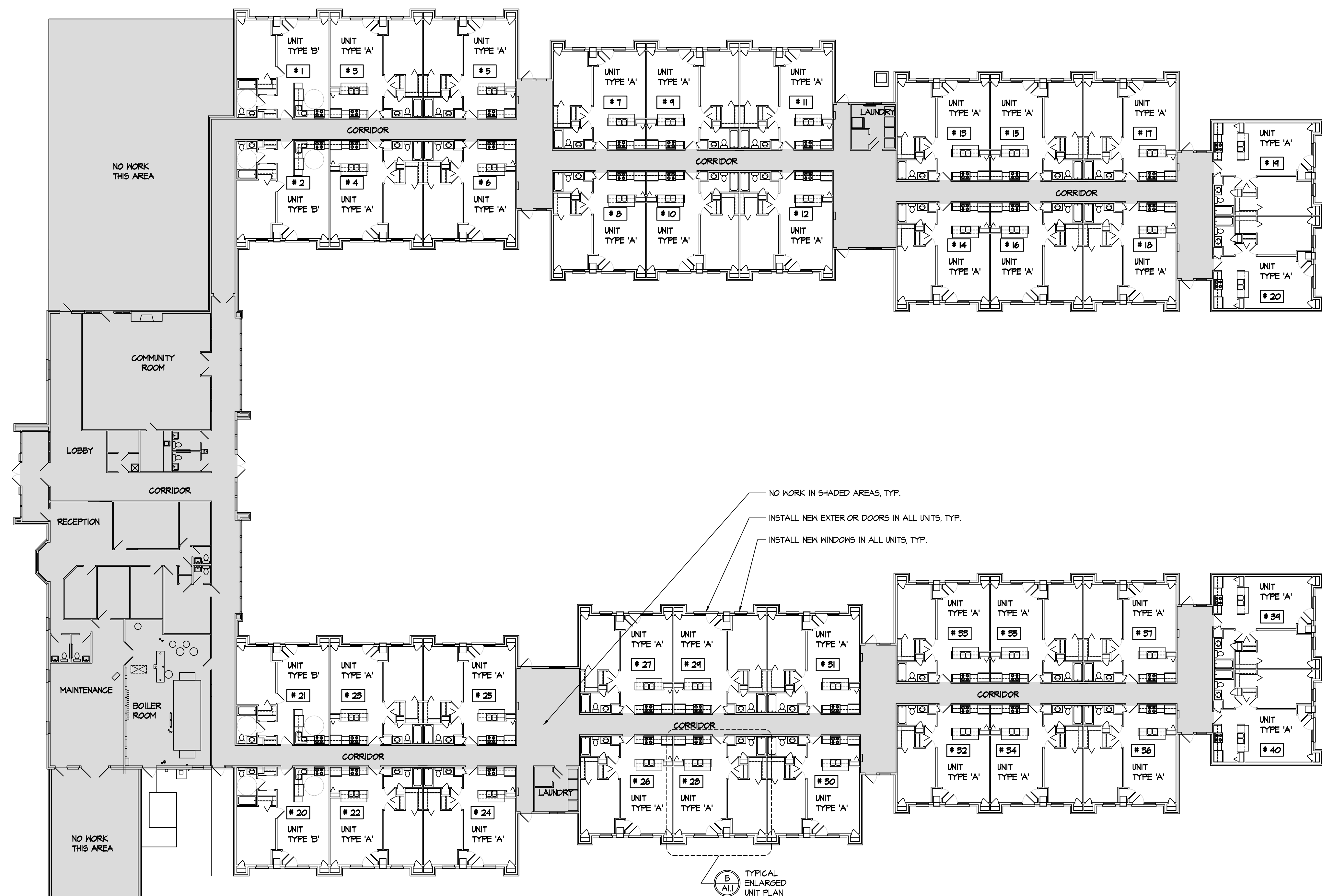
PROJECT ALLOWANCES

THE FOLLOWING ALLOWANCES ARE TO BE INCLUDED IN THE TOTAL BID AMOUNT FOR THE PROJECT. REFER TO THE BID FORM AND SPEC SECTION 01 00 00 FOR ADDITIONAL INFORMATION. UNUSED CASH ALLOWANCES WILL BE CREDITED BACK TO THE OWNER AT THE END OF THE PROJECT.

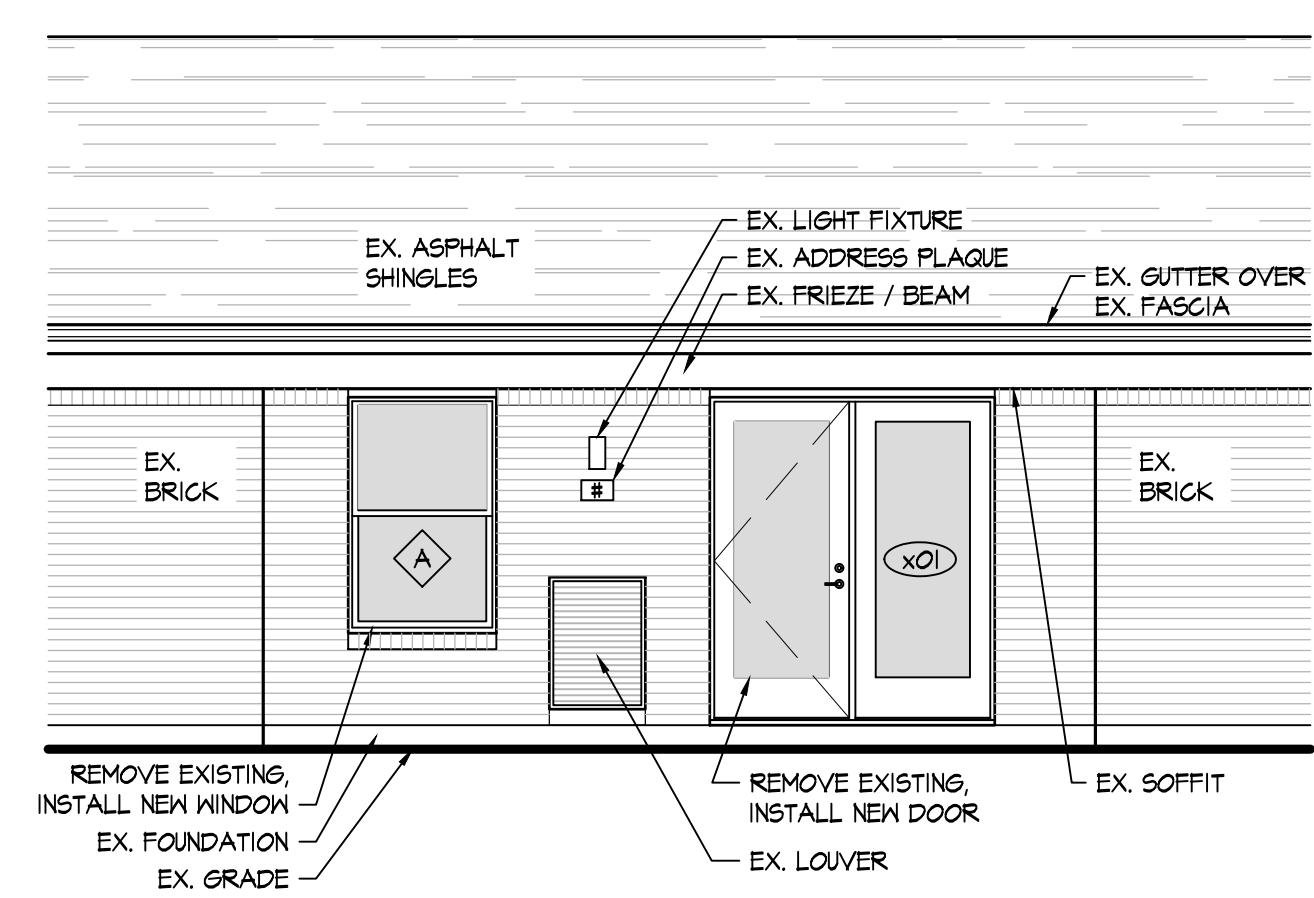
- PROJECT CONTINGENCY CASH ALLOWANCE: \$10,000
- CONTRACTOR SHALL PROVIDE (2) ADDITIONAL COMPLETE WINDOW UNITS FOR ATTIC STOCK. TURN WINDOWS OVER TO OWNER.

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990 E. Ridge Drive Lebanon, Ohio 45036
Warren Metropolitan Housing Authority

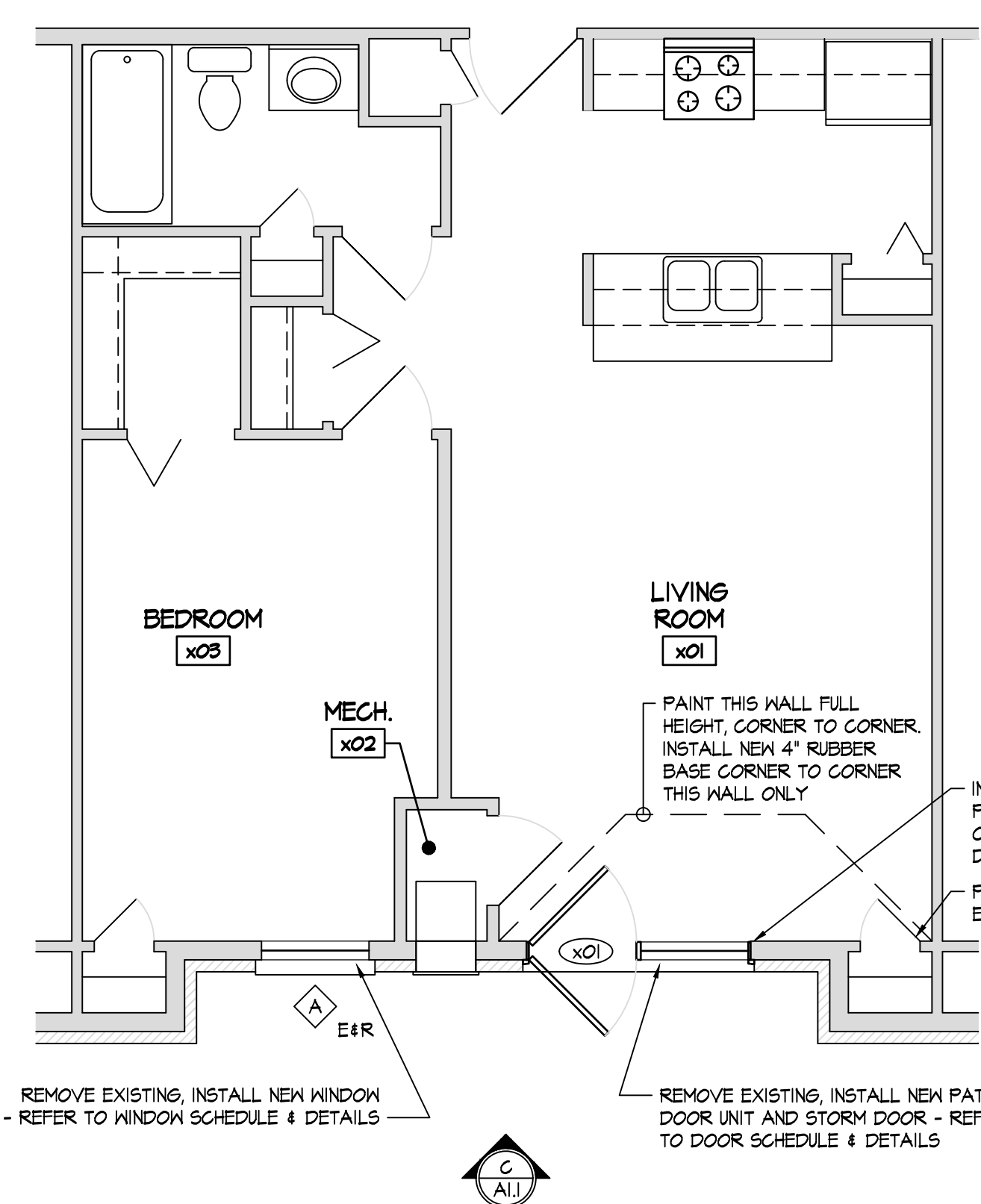
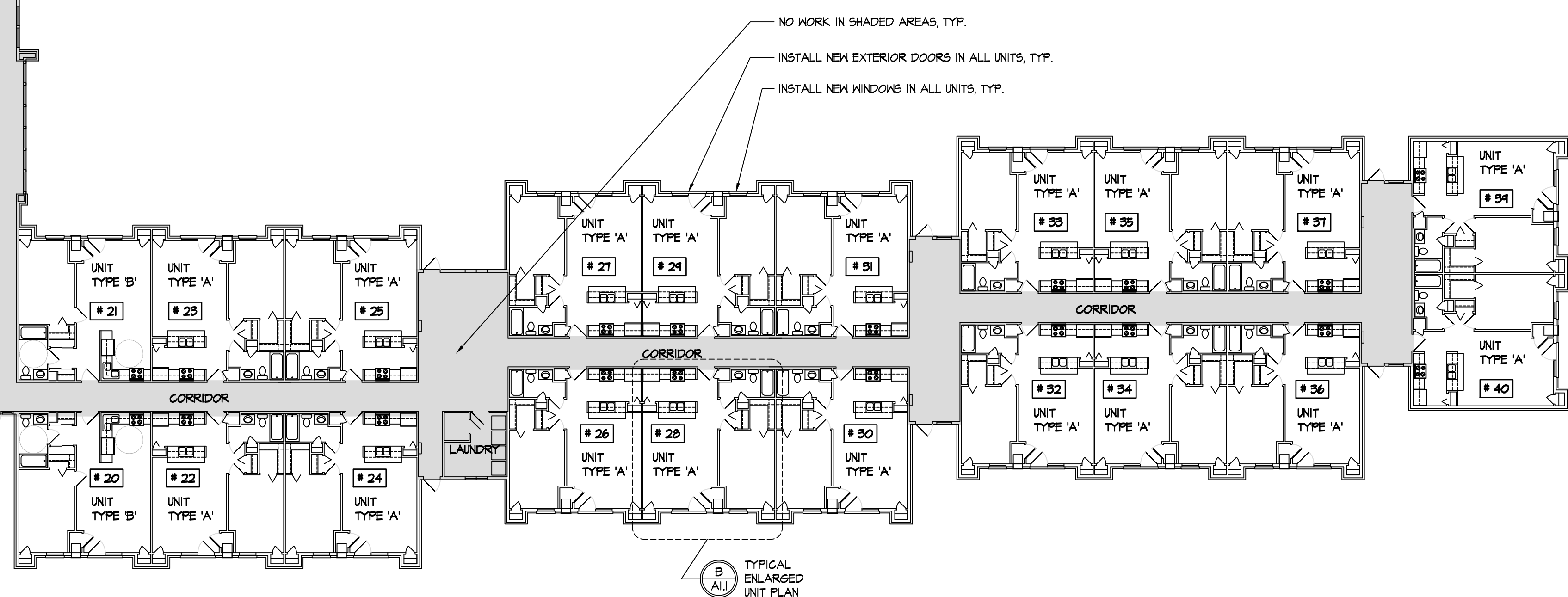
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01/13/23 Bid Set
Project Number
2022-202
Date
January 13, 2023
Sheet Title
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Sheet Number
G1.1



A METROPOLITAN VILLAGE OVERALL BUILDING FLOOR PLAN
SCALE: 1/16" = 1'-0"



C PARTIAL EXTERIOR ELEVATION [F.V. LEFT/RIGHT HAND UNIT CONFIG.]
SCALE: 1/4" = 1'-0"

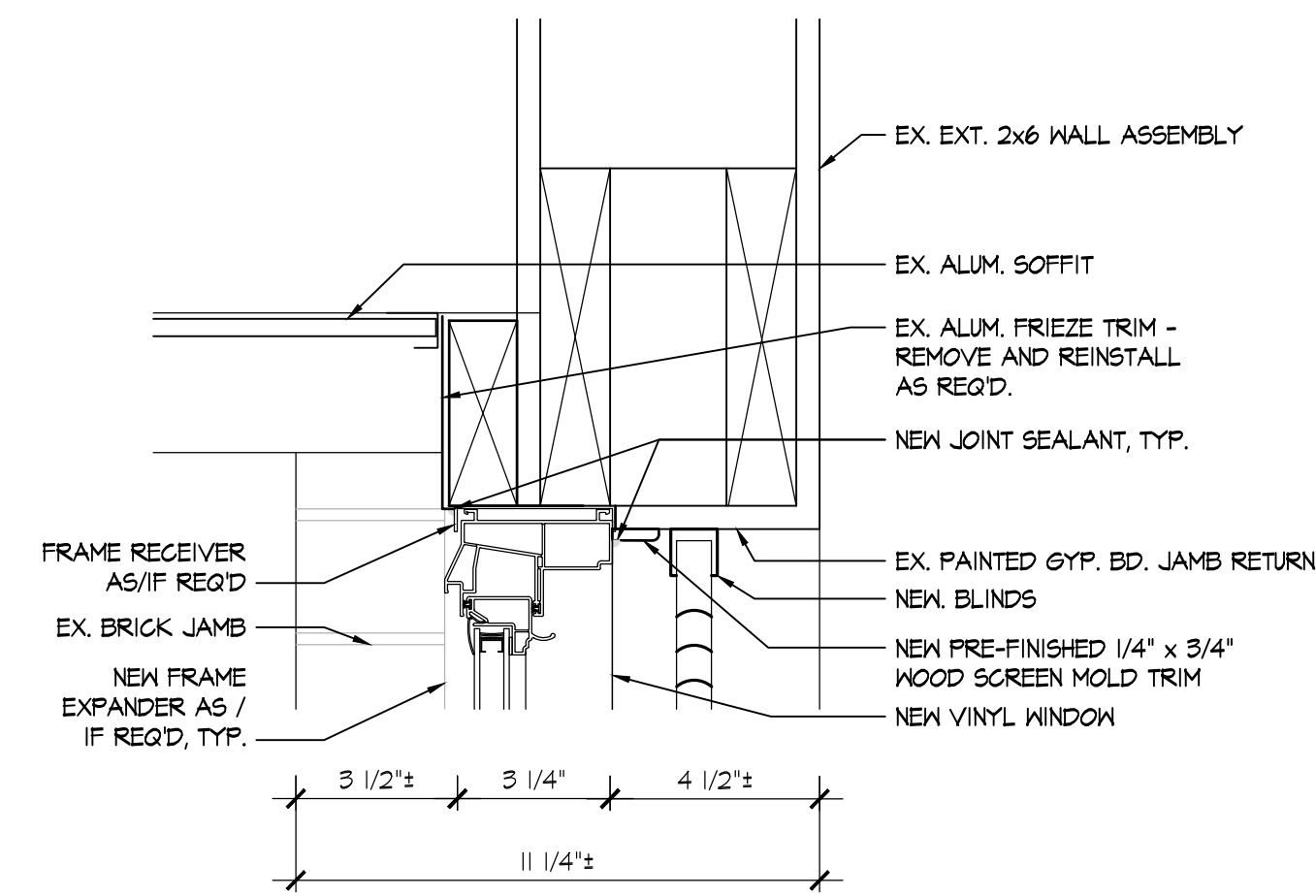


B TYPICAL UNIT FLOOR PLAN FOR 40 DWELLING UNITS [F.V. LEFT/RIGHT HAND UNIT CONFIG.]
SCALE: 1/4" = 1'-0"

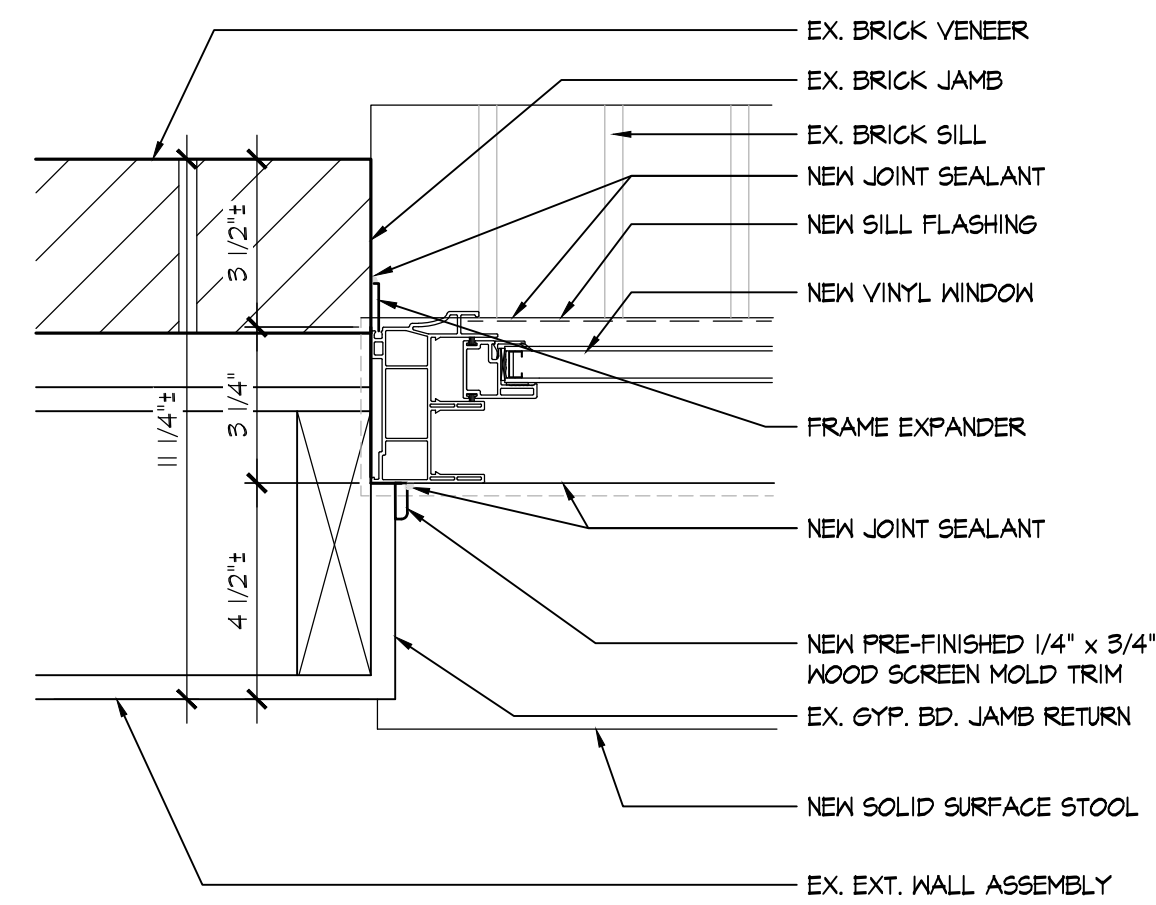
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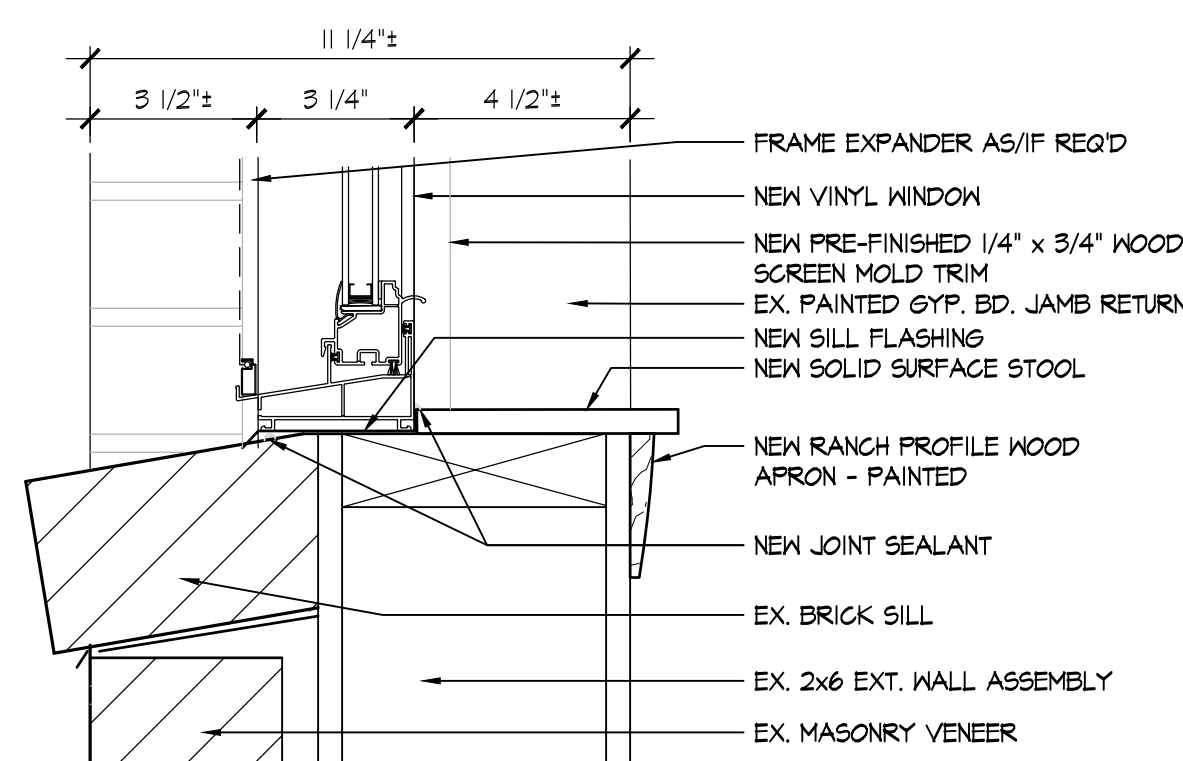
A1.1



A3 HEAD



A2 JAMB



A1 SILL

A TYPICAL WINDOW DETAILS
SCALE: 3" = 1'-0"

NOTE:
PREP ALL EXISTING SEALANT JOINTS AS REQ'D FOR NEW WORK - CUT OUT / REMOVE SEALANT / RESIDUE, ETC. TO PROVIDE SUITABLE SUBSTRATE FOR NEW SEALANT. PROVIDE PRIMER AND ANY REQ'D PREP FOR NEW SEALANT JOINT

NOTE:
PREP AND PAINT ALL EX. GYPSUM BOARD JAMB RETURNS IMPACTED BY WORK. COMPLETE TO MATCH.

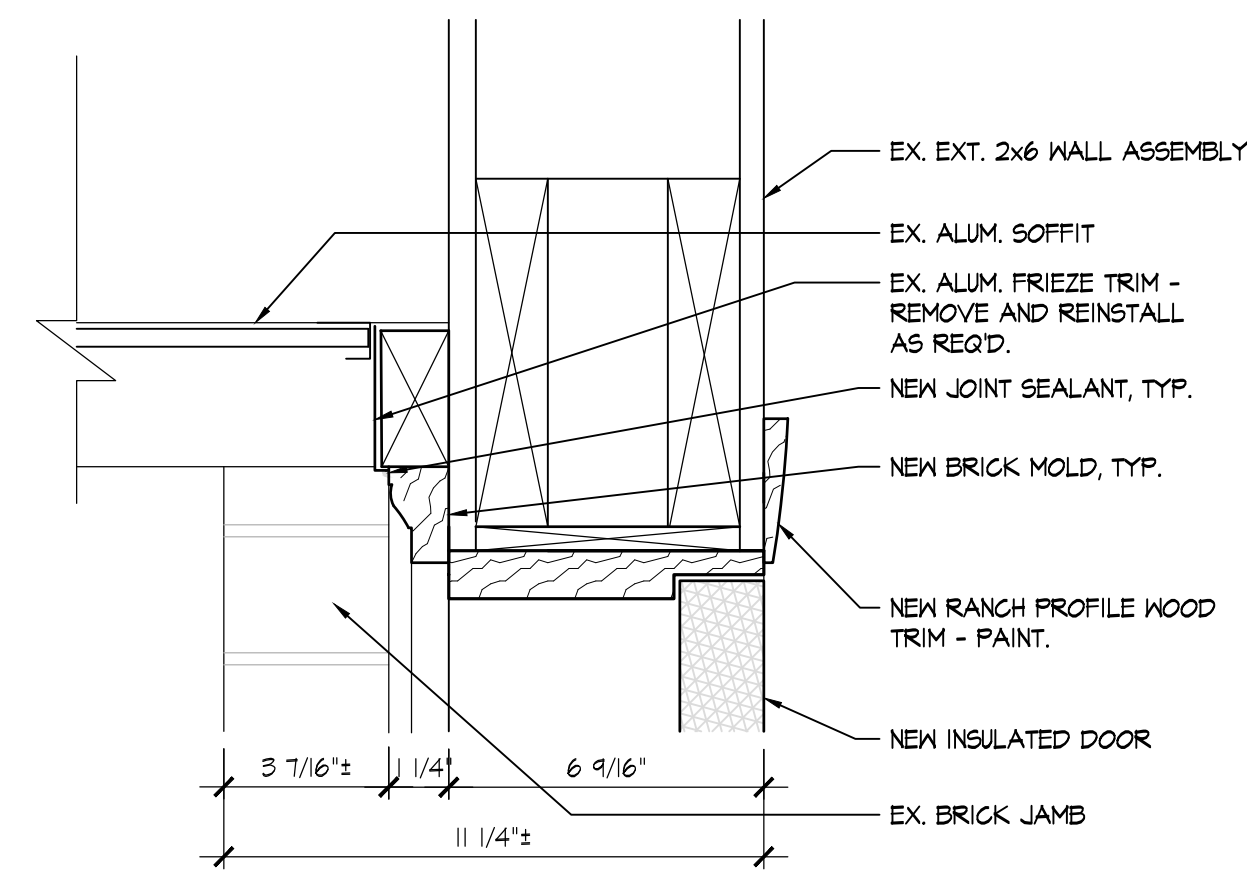
NOTE:
REPAIR / REPLACE ALL DAMAGED GYPSUM BOARD RESULTING FROM WINDOW AND DOOR REMOVAL AND INSTALLATION

NOTE:
BLOCKING AS/IF APPLICABLE TO BE ROT RESISTANT TREATED, TYP.

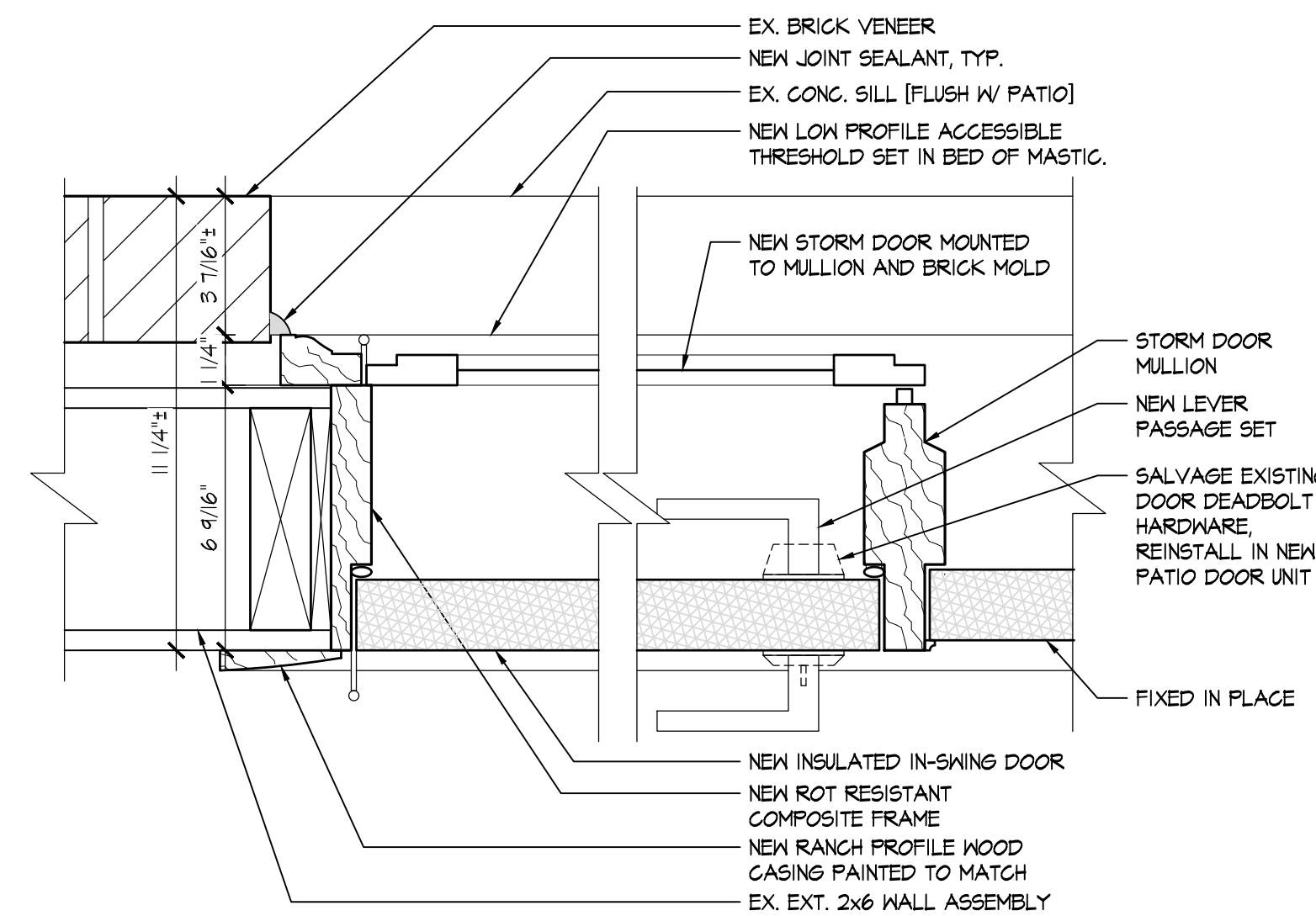
NOTE:
FASTEN NEW WOOD CASING / TRIM INTO SUBSTRATE W/ FASTENERS APPLICABLE TO CONDITION. IF SCREWS/FASTENERS ARE USED THAT HAVE A HEAD, THEY MUST BE COUNTERSUNK AND THE HOLE PUTTED FLUSH WITH THE FACE OF ADJACENT TRIM

NOTE:
SEAL AROUND WINDOW / DOOR OPENING W/ BATT INSULATION OR LOW EXPANSION FOAM INSULATION, TYP.

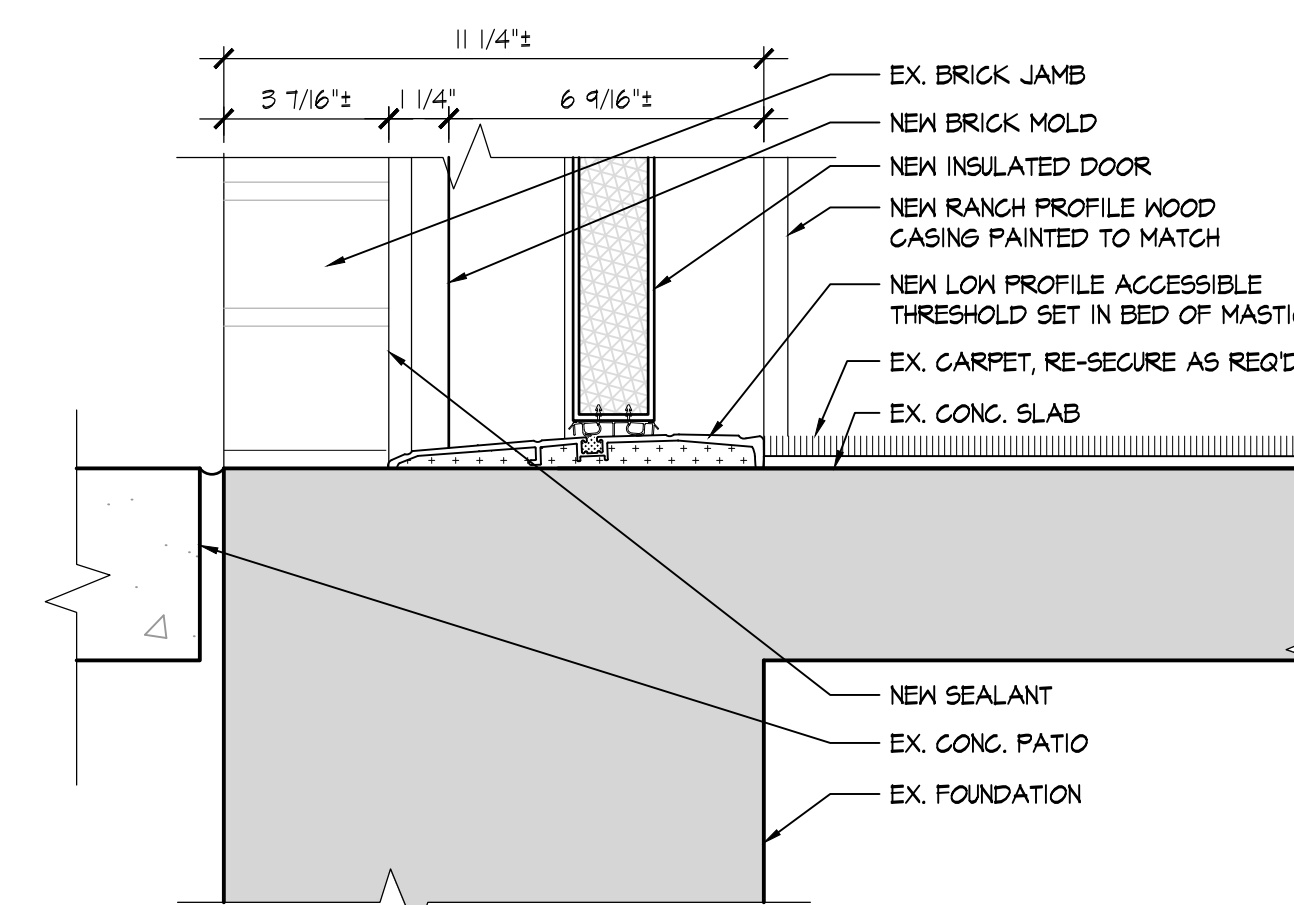
NOTE:
COVER OR CONCEAL EX. JOINT SEALANT REMNANT AROUND PERIMETER OF OPENING, TYP.



B3 HEAD



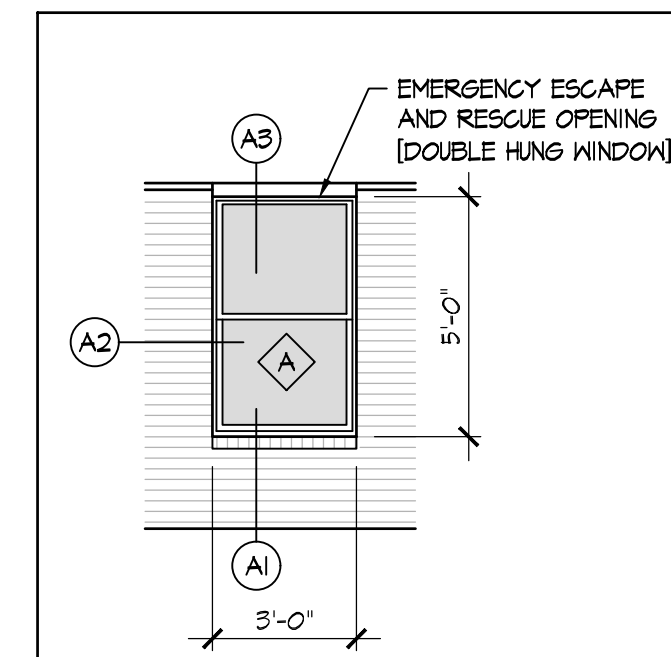
B2 JAMB



B1 SILL

B TYPICAL DOOR DETAILS
SCALE: 3" = 1'-0"

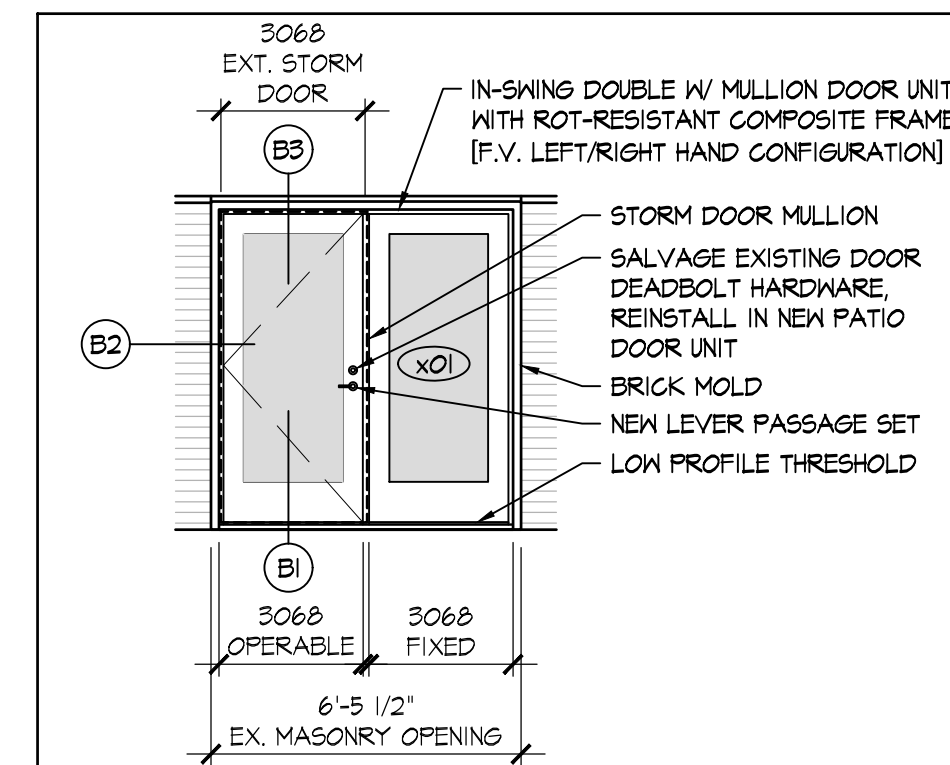
WINDOW SCHEDULE



WINDOW GENERAL NOTES:

1. REFER TO SPECIFICATIONS FOR FULL WINDOW REQUIREMENTS.
2. FIELD VERIFY ALL SIZES PRIOR TO ORDERING WINDOWS.
3. NEW WINDOWS SHALL BE CUSTOM FIT TO EXISTING OPENINGS UNLESS SPECIFICALLY NOTED OTHERWISE ON PLANS. EGRESS WINDOW OPENINGS SHALL NOT BE REDUCED FROM ORIGINAL OPENING DIMENSIONS.
4. INSTALL FRAME RECEPTORS / EXPANDERS, ETC. AS REQ'D BY CONDITIONS TO SUIT INSTALLATION.
5. INSTALL NEW INTERIOR TRIM AT JAMBS / HEAD OF OPENINGS, TYP ALL WINDOWS
6. PROVIDE SEALANT AT ALL APPLICABLE INTERIOR AND EXTERIOR JOINTS.
7. REFER TO DETAILS.

DOOR SCHEDULE



DOOR GENERAL NOTES:

1. REFER TO SPECIFICATIONS FOR FULL DOOR / FRAME REQUIREMENTS.
2. REFER TO SPECIFICATIONS FOR DOOR HARDWARE REQUIREMENTS
3. FIELD VERIFY ALL SIZES PRIOR TO ORDERING DOORS.
4. HANDING TO MATCH EXISTING - F.V.
5. INSTALL NEW INTERIOR TRIM AT JAMBS / HEAD OF OPENINGS, TYP ALL DOORS
6. PROVIDE SEALANT AT ALL APPLICABLE INTERIOR AND EXTERIOR JOINTS.
7. REFER TO DETAILS.

MOCK-UP REQUIREMENTS

NOTE:
CONTRACTOR SHALL PROVIDE AND INSTALL (1) UNIT AS A MOCK-UP, PRIOR TO ORDERING ALL WINDOW UNITS. MOCK-UP SHALL BE COMPLETE UNIT WITH ALL FLASHINGS, RECEPTORS, SEALANT, ETC. REPRESENTING A COMPLETE INSTALLATION, MOCK-UP WILL BE REVIEWED & APPROVED BY ARCHITECT AND OWNER.

RDA GROUP ARCHITECTS
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STATE OF OHIO
JONATHAN ROBERT SCHAAF
14503
REGISTERED ARCHITECT

Jonathan Robert Schaaf #14503
Expiration Date 12/31/2023

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