

# Asphalt & Concrete Replacement 2023 at: WMHA Metropolitan Village

990 East Ridge Drive  
Lebanon, Ohio 45036



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## DESIGN TEAM

### ARCHITECT:



### OWNER:



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## CODE REVIEW

<b>DESCRIPTION:</b>	ASPHALT & CONCRETE REPLACEMENT AT WMHA METROPOLITAN VILLAGE
<b>JURISDICTION:</b>	CITY OF LEBANON, WARREN COUNTY
<b>ZONING:</b>	ZONING CLASSIFICATION: R-2 ZONING [RESIDENTIAL TWO DISTRICT] TOTAL AREA OF DEVELOPMENT: 5.00 ACRES [217,800 SF] OWNER: WARREN METROPOLITAN HOUSING AUTHORITY DESIGNER: RDA GROUP ARCHITECTS LEGAL DESCRIPTION: LOT 4236, EAST RIDGE SECTION ONE, CITY OF LEBANON, WARREN COUNTY, OHIO
<b>BUILDING:</b>	NO CHANGE TO EXISTING MULTI-FAMILY BUILDING OR WMHA OFFICES

## UTILITIES

CITY OF LEBANON ELECTRIC DEPARTMENT  
125 SOUTH SYCAMORE STREET  
LEBANON, OHIO 45036  
ATTN: SHAWN COFFEY  
513.228.3200

CITY OF LEBANON PUBLIC WORKS DEPARTMENT  
50 SOUTH BROADWAY STREET  
LEBANON, OHIO 45036  
ATTN: DARREN OWENS  
513.228.3701

CINCINNATI BELL EXTENDED TERRITORIES - FIBER  
201 EAST 4TH STREET  
CINCINNATI, OHIO 45202  
ATTN: MIKE WILLIAMS  
513.569.6024

CINCINNATI BELL EXTENDED TERRITORIES - COAX  
201 EAST 4TH STREET  
CINCINNATI, OHIO 45202  
ATTN: MARK CONNER  
513.228.3244

WARREN COUNTY TELECOMMUNICATIONS  
500 JUSTICE DRIVE  
LEBANON, OHIO 45036  
ATTN: ADELA DINGMAN  
513.649.1320

DUKE ENERGY  
134 EAST 4TH STREET  
PO BOX 460  
CINCINNATI, OHIO 45201  
ATTN: CHRIS GOLYER  
513.287.2426

TIME WARNER  
11252 CORNELL PARK DRIVE  
CINCINNATI, OHIO 45242  
ATTN: KENT RIEGER  
513.484.5061

CENTURY-LINK  
20 NORTH MECHANIC STREET  
LEBANON, OHIO 45036  
ATTN: VIC BATES  
513.453.3502

WINDSTREAM COMMUNICATIONS  
3701 COMMUNICATIONS WAY  
EVANSVILLE, INDIANA 47115  
ATTN: JOE GREEN  
314.740.7510

OHIO UTILITY PROTECTION SERVICES (OUPS)  
811 OR 800.362.2764

## ARCHITECTURAL SITE PLAN / STATEMENT OF WORK GENERAL NOTES

- COORDINATE ALL NOTES AND SCOPE OF WORK AND REQUIREMENTS OF THE SAME BETWEEN THE ENTIRE SET OF DOCUMENTS. PROJECT SHALL BE ALL INCLUSIVE OF ALL REQUIRED WORK FOR A COMPLETE TURKEYEY PROJECT.
- ALL WORK SHALL CONFORM TO CITY OF LEBANON STANDARDS AS APPLICABLE.
- MILL EXISTING PARKING LOT AS INDICATED ON DRAWINGS. PROOF ROLL / VERIFY CONDITION OF PAVING / BASE TO REMAIN. ADDRESS BASE IF REQUIRED. INSTALL NEW CHIP & SEAL INTERLAYER. INSTALL NEW ASPHALT WEAR COURSE.
- REMOVE EXISTING, INSTALL NEW CONCRETE CURBS, WALKS, CURB-CUTS, ETC. AS INDICATED.
- INCLUDE LIMITED / SELECTIVE DEMOLITION OF EXISTING PAVING, CURBS, AND ACCESSORIES AS REQUIRED TO ACCOMPLISH NEW WORK.
- INCLUDE LIMITED / SELECTIVE DEMOLITION OF EXISTING TURF, LANDSCAPE AREAS, AND TREES / VEGETATION AS REQUIRED TO ACCOMPLISH SCHEDULED WORK. STRIP TOPSOIL AS APPLICABLE TO THE WORK. RESTORE AFFECTED AREAS TO MATCH ORIGINAL CONDITIONS.
- RE-STRIPE PARKING LOT AS INDICATED.
- CRACK SEAL, SEALCOAT, AND RE-STRIPE EXISTING EMPLOYEE PARKING LOT

## PROJECT ALLOWANCES

THE FOLLOWING CASH ALLOWANCES ARE TO BE INCLUDED IN THE TOTAL BID AMOUNT FOR THE PROJECT. REFER TO THE BID FORM AND SPEC SECTION 01 00 00 FOR ADDITIONAL INFORMATION. UNUSED ALLOWANCES WILL BE CREDITED BACK TO THE OWNER AT THE END OF THE PROJECT.

- PROJECT CONTINGENCY ALLOWANCE \$20,000
- 100 LF CONCRETE CURB [MISC LOCATIONS, CUT & PATCH MIN 8'-0" LENGTH]
- 2,000 SF OF BASE REPAIR/REPLACEMENT AT MILLED PAVEMENT AREAS. LOCATIONS WILL BE FIELD CONFIRMED BY PROOF ROLL. INCLUDE OVERDIG/REMOVAL TO A MIN. OF 12" OF COMPACTED BASE AND PAVEMENT & INSTALLATION.

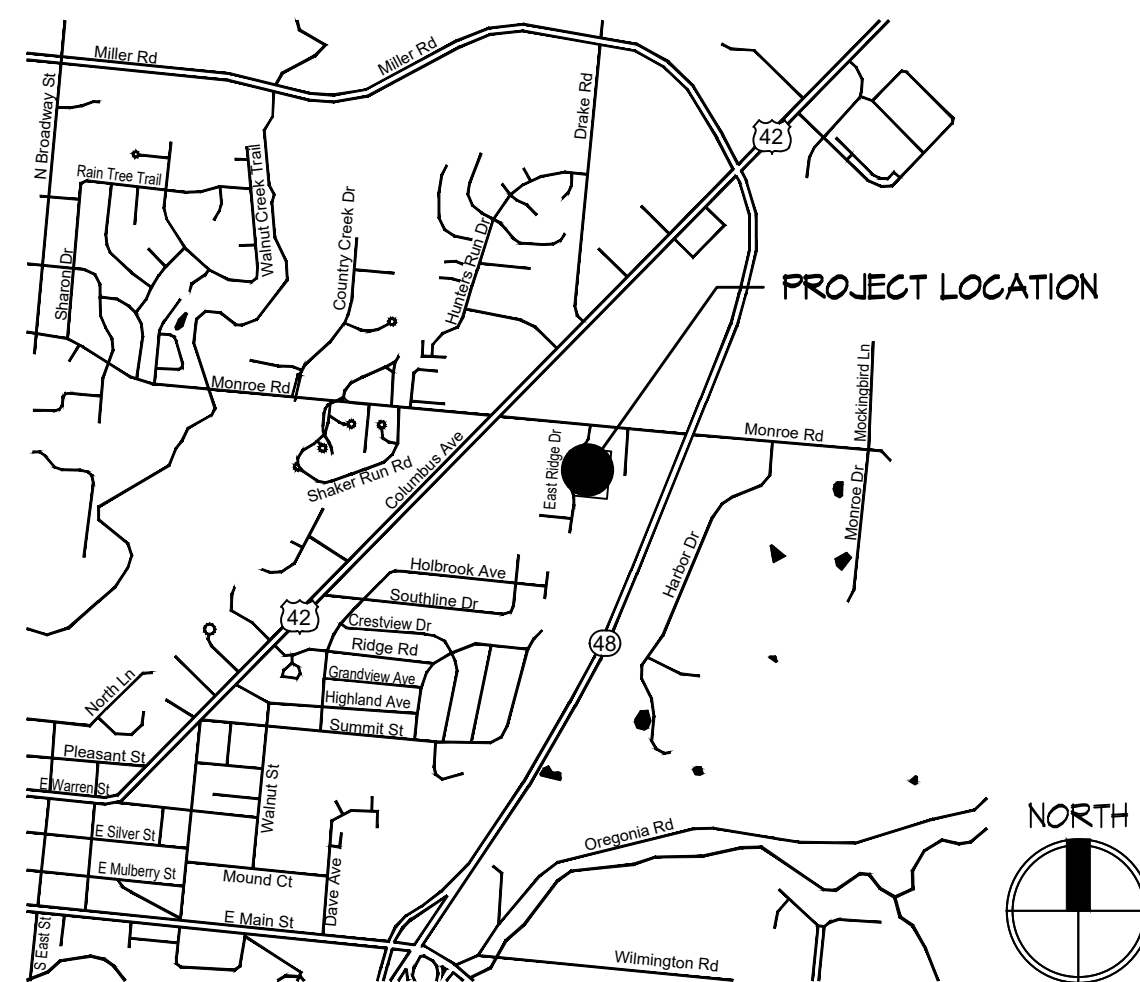
## ALTERNATES

- ADD ALTERNATE #1:** REMOVE EXISTING, INSTALL NEW CONCRETE CURBS AT AREAS IDENTIFIED.
- ADD ALTERNATE #2:** REMOVE EXISTING, INSTALL NEW CONCRETE WALKS AT AREAS IDENTIFIED.
- ADD ALTERNATE #3:** CRACK SEAL, SEAL COAT, AND STRIPE EMPLOYEE PARKING LOT AS IDENTIFIED.

## DIVISION I GENERAL PROJECT REQUIREMENTS

- DO NOT SCALE DRAWINGS. CONTRACTOR AND ALL SUBCONTRACTORS ARE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND INFORMATION IN THESE DRAWINGS GOVERNING THEIR SCOPE OF THE WORK. ALL ERRORS, OMISSIONS, AND INCONSISTENCIES IN THESE DRAWINGS WHICH ARE DISCOVERED ARE TO BE REPORTED TO THE ARCHITECT IMMEDIATELY, BEFORE PROCEEDING WITH THE WORK. ANY SITE OR JOB CONDITIONS (INCLUDING ADVERSE SOIL BEARING CONDITIONS) THAT ARISE AND CAUSE THE CONTRACTOR TO VARY FROM THE CONTRACT DOCUMENTS SHALL BE ANALYZED BY AND ARE THE RESPONSIBILITY OF THE CONTRACTOR IF THEY ARE NOT REPORTED TO THE ARCHITECT BEFORE PROCEEDING WITH WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION SAFETY; COMPLIANCE TO BE IN ACCORDANCE WITH ALL STATE, FEDERAL, AND O.S.H.A. REGULATIONS. THE ARCHITECT AND THE CONTRACTORS ARE NOT RESPONSIBLE FOR ANY DAMAGES RESULTING FROM THE NEGLIGENCE OF TIMELY AND RESPONSIBLE MAINTENANCE OF THE PROJECT BY THE OWNER AFTER PROJECT COMPLETION.
- CONTRACTOR TO INSTALL ALL MATERIALS, APPLIANCES, ETC. ACCORDING TO MANUFACTURERS SPECIFICATIONS, RECOMMENDATIONS, AND INSTRUCTIONS, WHETHER A COMPLETE SYSTEM OR A COMPONENT PART OF A COMPLETE CONSTRUCTION SYSTEM.
- ALL WORK SHALL CONFORM TO THE 2017 OHIO BUILDING CODE, AND ALL OTHER LOCAL GOVERNING CODES AND ORDINANCES HAVING THE AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK, AND SHALL BE COMPLETED TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP BY EACH RESPECTIVE TRADE. CONTRACTOR SHALL PAY FOR ALL REQUIRED PERMITS. WORK SHALL NOT BEGIN UNTIL ALL NECESSARY PERMITS ARE OBTAINED.
- CONTRACTOR SHALL FOLLOW APPLICABLE GENERAL CONDITIONS REQUIREMENTS AS ESTABLISHED ON THE LATEST EDITION OF AIA DOCUMENT A-201.
- CONTRACTOR SHALL PROVIDE TRASH DUMPSTERS AS REQUIRED FOR THE PROJECT. LOCATE IN AN APPROVED LOCATION, COORDINATE WITH THE OWNER.
- ITEMS MAY BE REFERRED TO AS SINGULAR, OR PLURAL ON THE DRAWINGS AND SPECIFICATIONS CONTRACTOR IS RESPONSIBLE FOR DETERMINING QUANTITY OF EACH ITEM REQUIRED.
- THE GENERAL CONTRACTOR SHALL VERIFY ALL PERMITS HAVE BEEN APPROVED BY APPROPRIATE AGENCIES PRIOR TO START OF CONSTRUCTION. NO CONSTRUCTION OR FABRICATION OF ANY ITEMS SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED ALL PLANS AND ANY DOCUMENTATION FROM ALL OF THE PERMITTING AND REGULATORY AUTHORITIES. FAILURE OF THE CONTRACTOR TO FOLLOW THIS PROCEDURE SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATION OF THE WORK MANDATED BY A REGULATORY AUTHORITY.
- THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ADDITIONAL CONSTRUCTION COST RESULTING FROM WORK STARTED PRIOR TO OBTAINING ALL GOVERNING AGENCIES APPROVALS.
- NO CHANGES OR MODIFICATIONS TO THE WORK SHALL BE MADE WITHOUT APPROVAL OF OWNER / ARCHITECT. FAILURE TO OBTAIN APPROVAL SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATIONS OF THE WORK REQUIRED BY THE OWNER OR ANY REGULATORY AUTHORITY.
- THE GENERAL CONTRACTOR SHALL CONTACT CLIENT, OR THE ARCHITECT OF RECORD, REGARDING ALL QUESTIONS OR DISCREPANCIES. COMMUNICATION WITH THE ARCHITECT'S CONSULTANTS, OR REGULATORY AGENCIES SHALL NOT BE CONSIDERED VALID AND ANY CHANGES IN WORK, ADDITIONAL COSTS, APPROVALS, OR NON APPROVALS DUE TO SUCH COMMUNICATION SHALL BE THE CONTRACTOR'S RESPONSIBILITY. SHOULD ADDITIONAL ENGINEERING OR INVESTIGATIVE WORK BE REQUIRED DUE TO SITE OR ENVIRONMENTAL CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY. ENGINEERING SERVICES REQUIRED FOR CHANGES OR MODIFICATIONS IN THESE DOCUMENTS SHALL BE SECURED BY OWNER.
- IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AS HOLDER OF PERMITS TO NOTIFY THE BUILDING OFFICIAL WHEN WORK IS READY FOR INSPECTION. REQUESTS SHALL BE IN ACCORDANCE WITH REQUIREMENTS OF GOVERNING JURISDICTION. INSPECTORS SHALL HAVE COMPLETE ACCESS TO ALL WORK. RECORDS OF INSPECTIONS SHALL BE MAINTAINED ON THE JOB SITE IN ACCORDANCE WITH REQUIREMENTS AND FORMAT OF GOVERNING JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FEES REQUIRED BY INSPECTIONS, EXCEPT FOR INSPECTIONS MADE BY OWNER OR ITS AGENTS.
- GENERAL CONTRACTOR SHALL PROVIDE A FULL SET OF CONSTRUCTION DOCUMENTS TO ALL SUBCONTRACTORS. ALL CROSS-REFERENCING SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION BETWEEN SUB-CONTRACTORS, SUPPLIERS, AND VENDORS BASED ON THE ENTIRE SET OF DOCUMENTS. NO ADDITIONAL COMPENSATION WILL BE DUE TO A CONTRACTOR FOR ISSUES RESULTING FROM THE USE OF AN INCOMPLETE SET OF CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING OF INCONSISTENCIES OR DISCREPANCIES BETWEEN CONTRACT DOCUMENTS, DRAWINGS, SPECIFICATIONS, ETC.
- ERRORS, DISCREPANCIES OR OMISSIONS APPEARING ON THESE DRAWINGS, SPECIFICATIONS OR OTHER CONTRACT DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING.
- IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO FULLY EXAMINE AND BECOME FAMILIAR WITH THE SITE BEFORE COMMENCING THE WORK. GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AS WELL AS VERIFY THE CONDITIONS AND NATURE OF THE CONSTRUCTION, MATERIALS, AND AVAILABLE UTILITIES AND STRUCTURAL ELEMENTS AND TO NOTIFY THE ARCHITECT IN WRITING OF ANY AND ALL DISCREPANCIES BETWEEN THE SAID EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS. IT SHALL BE THE JOINT RESPONSIBILITY OF THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS AND SUPPLIERS OF MATERIALS TO SECURE ALL NECESSARY ADAPTATIONS TO SAME AS REQUIRED FOR THEIR RESPECTIVE WORK PRIOR TO ORDERING, FABRICATION OR INSTALLATION OF ANY MATERIALS, EQUIPMENT, OR COMPONENTS WHICH ARE TO BE INTEGRATED INTO THE WORK OF THIS PROJECT.
- THE JOB SITE IS TO BE KEPT CLEAN DURING CONSTRUCTION. CONTRACTOR SHALL PERIODICALLY AND PROMPTLY REMOVE ALL DEBRIS FROM SITE AT THEIR EXPENSE IN A LEGAL MANNER, INCLUSIVE OF ALL BOXES, GRATES OR TRASH OF INSTALLED ITEMS, INCLUDING DISPLAY FIXTURES AND HARDWARE SUPPLIED BY THE GC OR OTHERS.
- THE GENERAL CONTRACTOR SHALL PROTECT EXISTING CONSTRUCTION AND RESTORE ALL FINISH SURFACES TO THEIR ORIGINAL CONDITION WHERE DAMAGED.
- THE ABBREVIATION N.I.C. INDICATES WORK AND / OR MATERIALS NOT IN THE CONTRACT OF THE GENERAL CONTRACTOR. THIS SHALL NOT RELIEVE THE GC OF THE RESPONSIBILITY OF COORDINATION.

## VICINITY MAP



Asphalt & Concrete Replacement 2023 at:  
**WMHA Metropolitan Village**  
990 East Ridge Drive  
Lebanon, Ohio 45036

### Print Record

04/27/22 PRELIMINARY  
01/05/23 FINAL REVIEW  
01/13/23 BID SET

### Project Number

2022-043

### Date

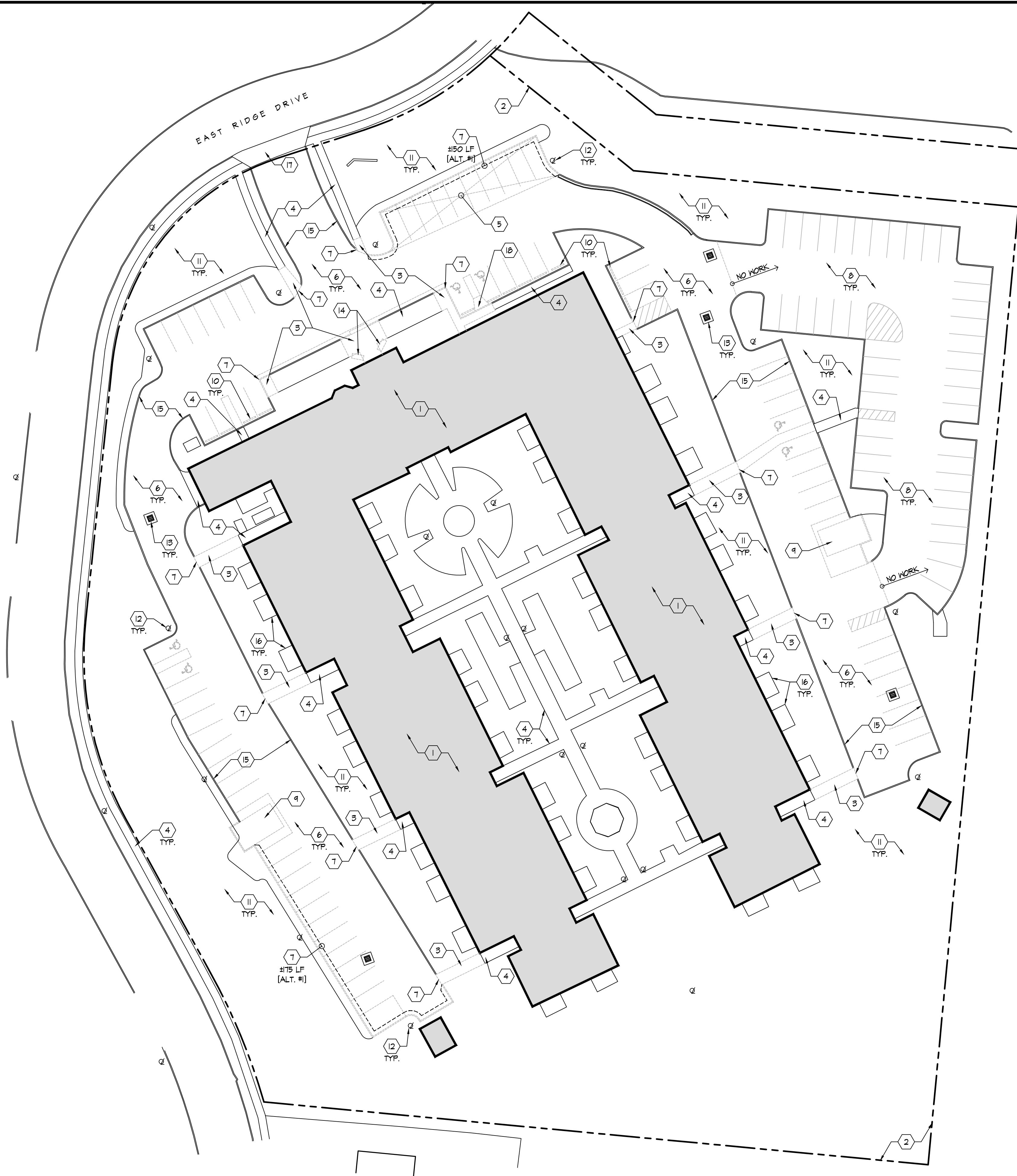
January 13, 2023

### Sheet Title

PROJECT INFORMATION

### Sheet Number

**GI.1**



DEMOLITION KEY NOTES

1. EXISTING BUILDING.
2. EXISTING PROPERTY LINE.
3. REMOVE PORTION OF EXISTING WALK AS REQ'D BY WORK. EXTEND TO NEXT NEAREST ADJACENT CONTROL JOINT.
4. EXISTING CONCRETE WALK TO REMAIN.
5. REMOVE EXISTING DAMAGED ASPHALT PAVEMENT AND BASE THIS AREA - PREP AREA FOR INSTALLATION OF NEW BASE AND ASPHALT PAVING.
6. MILL & 1/2" EXISTING ASPHALT PAVEMENT, PREP FOR NEW ASPHALT PAVING.
7. REMOVE EXISTING CONCRETE CURB COMPLETE AS INDICATED.
8. ADJACENT ASPHALT PARKING LOT TO REMAIN.
9. REMOVE EXISTING CONCRETE DUMPSTER PAD, ASPHALT PAVING, CONCRETE CURB, & LAWN COMPLETE AS REQ'D THIS AREA FOR INSTALLATION OF NEW CONCRETE DUMPSTER PAD.
10. REMOVE EXISTING PARKING BLOCKS COMPLETE.
11. EX. LAWN TO REMAIN.
12. EXISTING LIGHT POLE TO REMAIN. FIELD VERIFY EXACT LOCATION.
13. EXISTING CATCH BASIN TO REMAIN. FIELD VERIFY EXACT LOCATION.
14. REMOVE/SALVAGE EXISTING BENCH FOR REUSE IN NEW LAYOUT.
15. EXISTING CONCRETE CURB TO REMAIN.
16. EXISTING CONCRETE PATIO TO REMAIN.
17. EXISTING CONCRETE DRIVE APPROACH TO REMAIN.
18. REMOVE EXISTING CONCRETE CURB RAMP COMPLETE.

**RDA GROUP ARCHITECTS**  
 7945 Washington Woods Drive  
 Dayton, Ohio 45459  
 O: 937.610.3440  
 F: 937.610.3441

STATE OF OHIO  
 JONATHAN ROBERT SCHAAF  
 14503  
 REGISTERED ARCHITECT

Jonathan Robert Schaaf #14503  
 Expiration Date 12/31/2023

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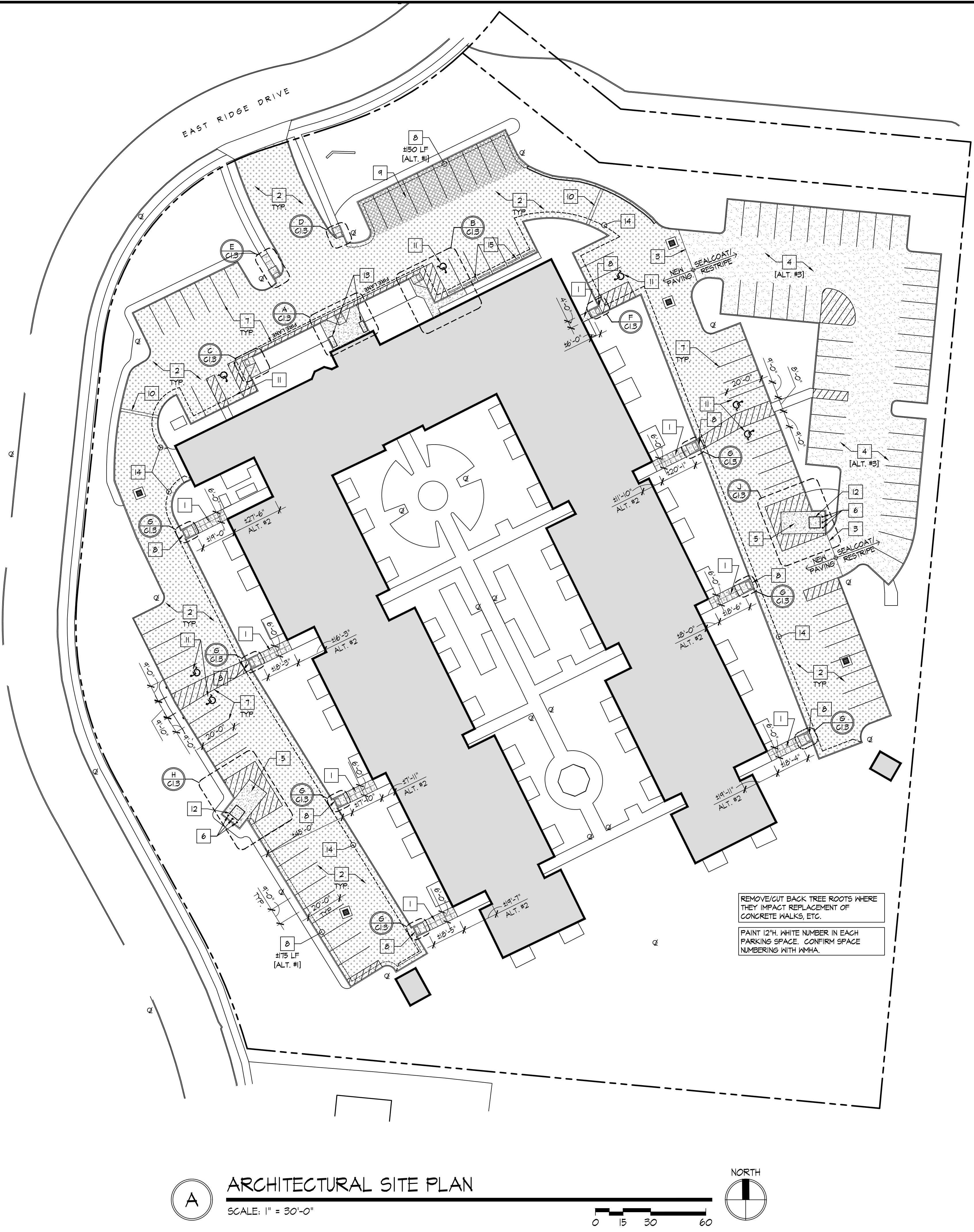
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Sheet Title
DEMOLITION SITE PLAN
Sheet Number
<b>CI.1</b>

**A** DEMOLITION SITE PLAN  
 SCALE: 1" = 30'-0"

0 15 30 60

NORTH



**NEW WORK KEY NOTES**

1. INSTALL NEW CONCRETE WALK, REFER TO DETAILS B/C/G/4.
2. NEW ASPHALT PAVING - MILL EXISTING PAVING, INSTALL NEW CHIP & SEAL COURSE, INSTALL NEW ASPHALT OVERLAY. [TYPE A-1]
3. MEET ADJACENT ASPHALT PARKING LOT FLUSH.
4. SEALCOAT AND STRIPE EXISTING PARKING LOT.
5. INSTALL NEW 6" CONCRETE DUMPSTER PAD, REFER TO DETAIL B/C/4.
6. INSTALL NEW BOLLARDS, REFER TO DETAIL F/C/4.
7. INSTALL NEW STRIPING AS INDICATED.
8. INSTALL NEW CONCRETE CURB, EXTEND TO NEXT ADJACENT CONTROL JOINT, TYP. REFER TO DETAIL D/G/4. PAINT YELLOW.
9. INSTALL NEW ASPHALT PAVING, REFER TO DETAIL A/C/4.
10. INSTALL NEW ASPHALT SPEED BUMP.
11. ACCESSIBLE PARKING SPACE. EXISTING SIGNAGE TO REMAIN. F.V.
12. WASTE RECEPTACLE BY OTHERS.
13. INSTALL SALVAGED BENCH.
14. DASHED LINE INDICATES THE EXTENTS OF THE NEW AND EXISTING CURB TO BE PAINTED YELLOW.
15. INSTALL NEW CONCRETE PARKING BLOCKS AS INDICATED.

**SITE PLAN GENERAL NOTES**

- A. RDA DID NOT ACCOMPLISH OR PROVIDE BOUNDARY, TOPOGRAPHY, OR UTILITY SURVEYS TO CREATE THESE ARCHITECTURAL SITE PLANS. CONTRACTOR SHALL BE CAUTIONED TO FIELD VERIFY ALL EXISTING SITE CONDITIONS INCLUDING EXISTING UNDERGROUND UTILITY LOCATIONS, ROUTING, STORM DRAIN COMPONENTS, INVERTS, ELEVATIONS, ETC.
- B. REMOVE ALL EXISTING LANDSCAPING, TREES, AND OVERGROWTH FROM THE AREAS OF WORK.
- C. REMOVE ALL EXISTING CONCRETE WALKS, PATIOS, AND STOOPS AS INDICATED WITH THE INTENT OF THE NEW DESIGN. REMOVE SUB-BASE AS APPLICABLE FOR PROPOSED WORK.
- D. STRIP TOPSOIL FROM ALL AREAS OF NEW PAVING. PREP FOR NEW WORK.
- E. FIELD VERIFY LOCATION OF ALL UTILITIES, COORDINATE ANY CONFLICTS WITH ARCHITECT/OWNER.
- F. INSTALL NEW COMPACTED GRAVEL BASE AT ALL NEW CONCRETE WALKS, STOOPS, PATIOS, ETC. FIELD VERIFY THICKNESS REQ'D FOR NEW CONCRETE AT ALL ELEVATIONS INDICATED.
- G. RE-GRADE EXISTING LAWN AREAS AS REQUIRED BY WORK. TYPICAL ALL AREAS. PROVIDE ADDITIONAL TOP SOIL AS REQUIRED TO RAISE GRADE TO MEET NEW CONCRETE WALKS, STOOPS, PATIOS, ETC. MAINTAIN POSITIVE DRAINAGE AWAY FROM BUILDING. SLOPE AT 2:1 MAX. PROVIDE SHALES IF REQ'D.
- H. RESTORE LAWN AND LANDSCAPE BEDS AT ALL AREAS OF WORK. INSTALL NEW SEED/SOD AT ALL AFFECTED SITE AREAS. MAINTAIN SEED/SOD UNTIL ESTABLISHED. RESTORE MULCH.
- I. ALL CONTROL JOINTS TO BE HAND TROWELED AND RE-TRACED. CONCRETE FINISH TO BE MEDIUM BROOM FINISH UNLESS OTHERWISE DIRECTED.
- J. ALL CONCRETE SHALL BE EARLY MORNING POUR. CONTRACTOR IS RESPONSIBLE TO GUARD AGAINST VANDALISM OF CONCRETE.
- K. CONTRACTOR SHALL LOCATE ALL EXISTING UTILITY CLEANOUTS, MANHOLES, COVERS, ETC. PROVIDE COLLARS/ EXTENSIONS, ETC. AS REQUIRED TO MEET NEW FINISH GRADE AND/OR PAVEMENT.
- L. CONTRACTOR SHALL ENGAGE PRIVATE UTILITY LOCATOR COMPANY AS REQ'D TO LOCATE UTILITIES. [INCLUDE IN BID AMOUNT]

**SLOPES AT SITE CONCRETE / PAVING**

- THE INTENT OF THIS PROJECT IS TO INCORPORATE ACCESSIBLE PATHWAYS AND FEATURES THROUGHOUT THE SITE WHERE NOTED AND TO THE EXTENT FEASIBLE CONSIDERING EXISTING SITE CONDITIONS. THE FOLLOWING SLOPES ARE TYPICAL REQUIREMENTS TO ACHIEVE COMPLIANCE WITH ACCESSIBILITY. FIELD COORDINATE CONDITIONS AS NEEDED. CONDITIONS MAY NOT APPLY AT ALL SITES.
- STOOPS/ PATIO - 1/48 (2%) MAXIMUM
  - WALKS - 1/20 (5%) MAXIMUM
  - RAMPS/ CURB RAMPS - 1/12 (8.3%) MAXIMUM [RAMPS REQ. HANDRAILS, SEE TYPICAL DETAILS]
  - ACCESSIBLE PARKING AREAS - 1/48 (2%) MAXIMUM
  - LANDINGS - 1/48 (2%) MAXIMUM

**SITE SYMBOL LEGEND**

- AREA OF NEW CONCRETE - [TYPE C-1]
- AREA OF MILLING OF EXISTING ASPHALT PAVING & NEW ASPHALT WEAR COURSE OVERLAY - [TYPE A-1]
- AREA OF NEW ASPHALT & BASE - [TYPE A-2]
- AREA OF NEW SEALCOATING & NEW STRIPING - [TYPE A-3]

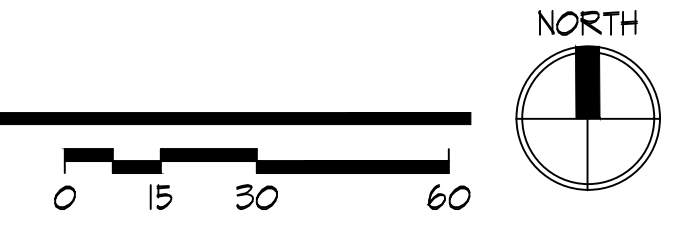
REMOVE/CUT BACK TREE ROOTS WHERE THEY IMPACT REPLACEMENT OF CONCRETE WALKS, ETC.

PAINT 12" WHITE NUMBER IN EACH PARKING SPACE. CONFIRM SPACE NUMBERING WITH MMHA.

A

**ARCHITECTURAL SITE PLAN**

SCALE: 1" = 30'-0"



**RDA GROUP ARCHITECTS**

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F: 937.610.3441

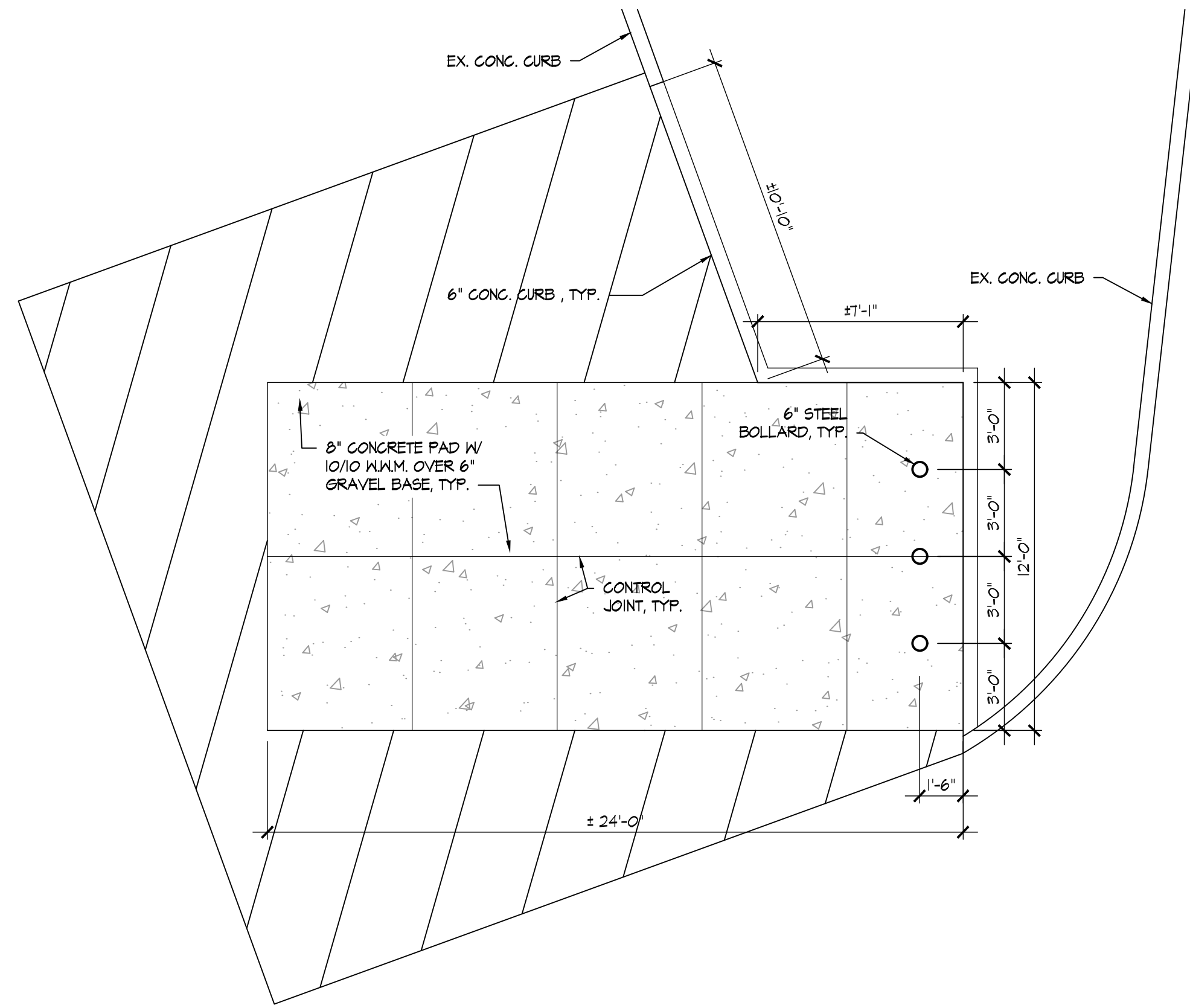
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JONATHAN ROBERT SCHAAF  
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Jonathan Robert Schaaf #14503  
Expiration Date 12/31/2023

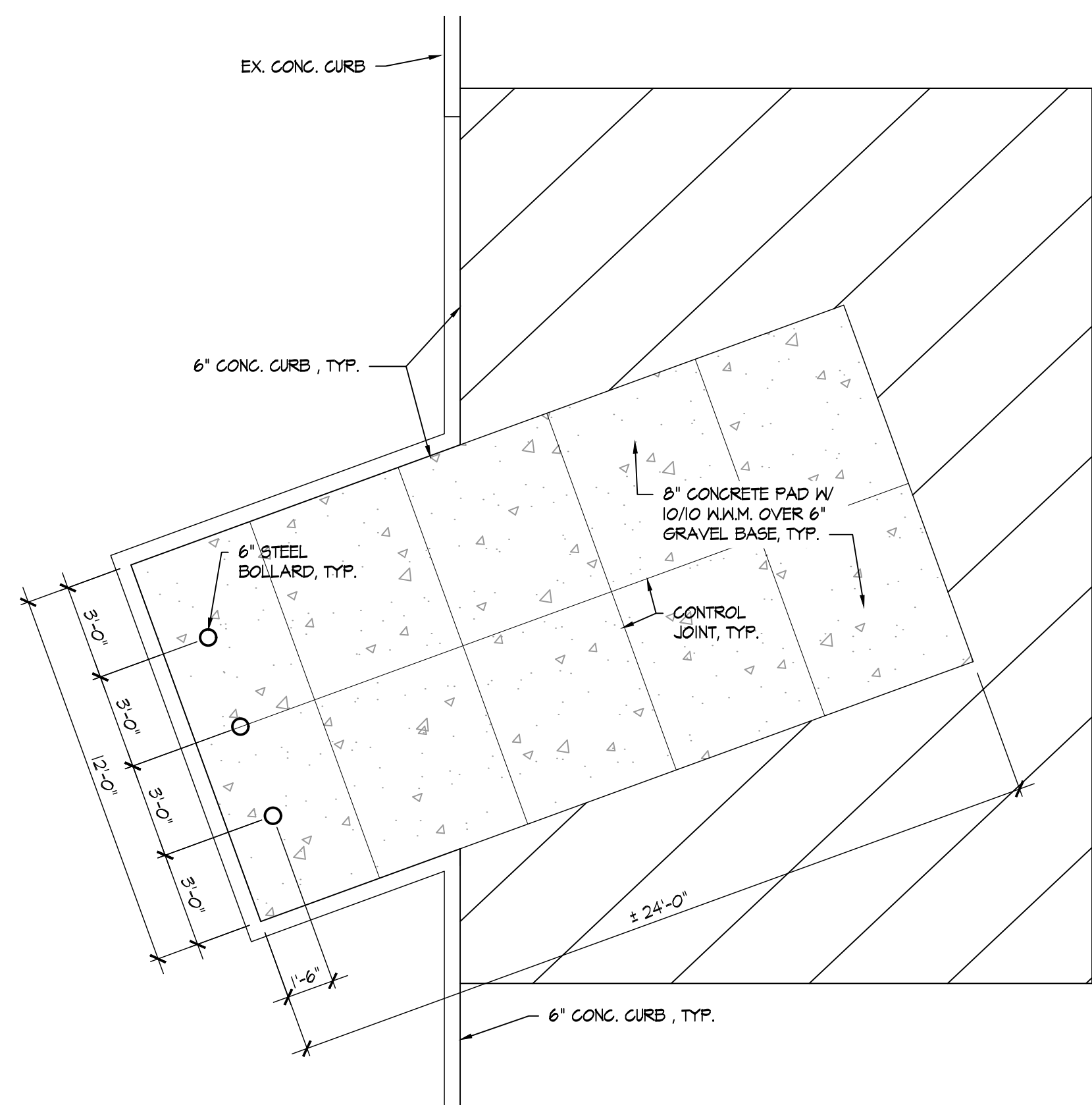
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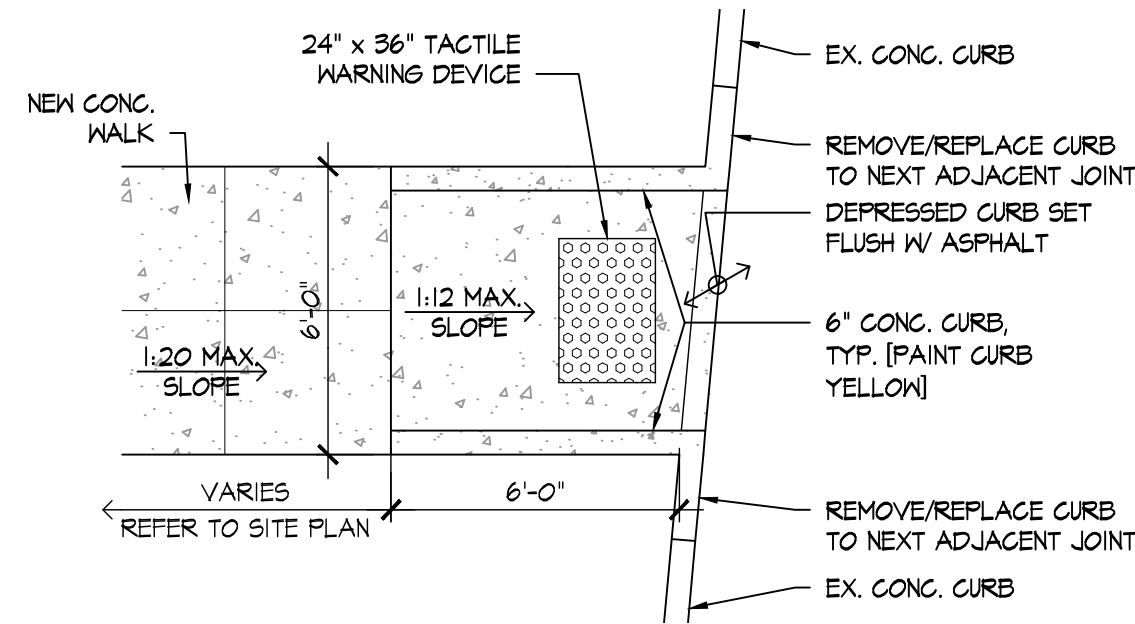
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04/27/22 PRELIMINARY
01/05/23 FINAL REVIEW
01/13/23 BID SET
Project Number
2022-043
Date
January 13, 2023
Sheet Title
ARCHITECTURAL SITE PLAN
Sheet Number
C1.2



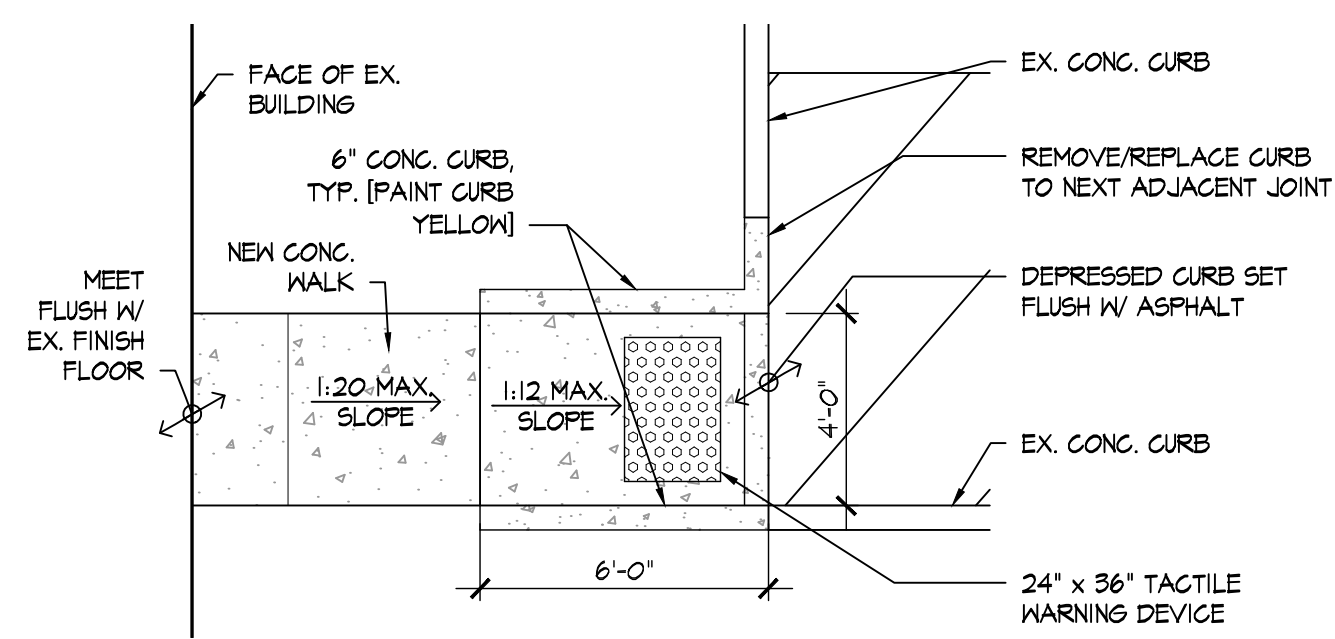
**J** ENLARGED DUMPSTER PLAN  
SCALE: 1/4" = 1'-0"  
0 2 4 8 NORTH



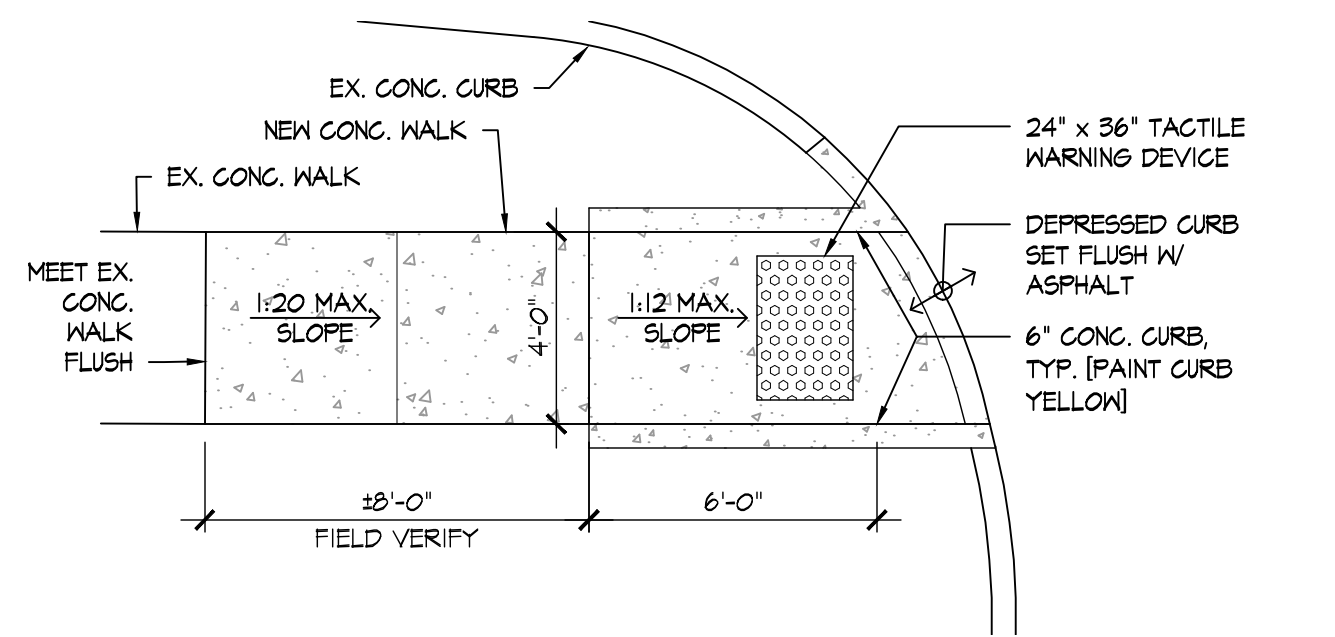
**H** ENLARGED DUMPSTER PLAN  
SCALE: 1/4" = 1'-0"  
0 2 4 8 NORTH



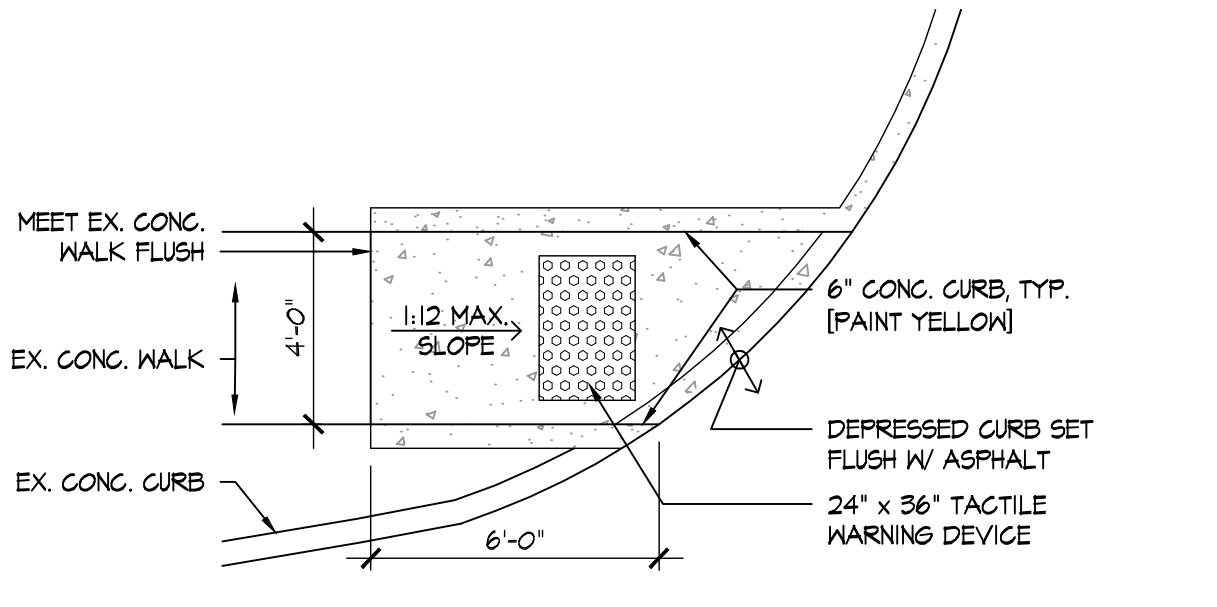
**G** ENLARGED RAMP PLAN  
SCALE: 1/4" = 1'-0"  
0 2 4 8 NORTH



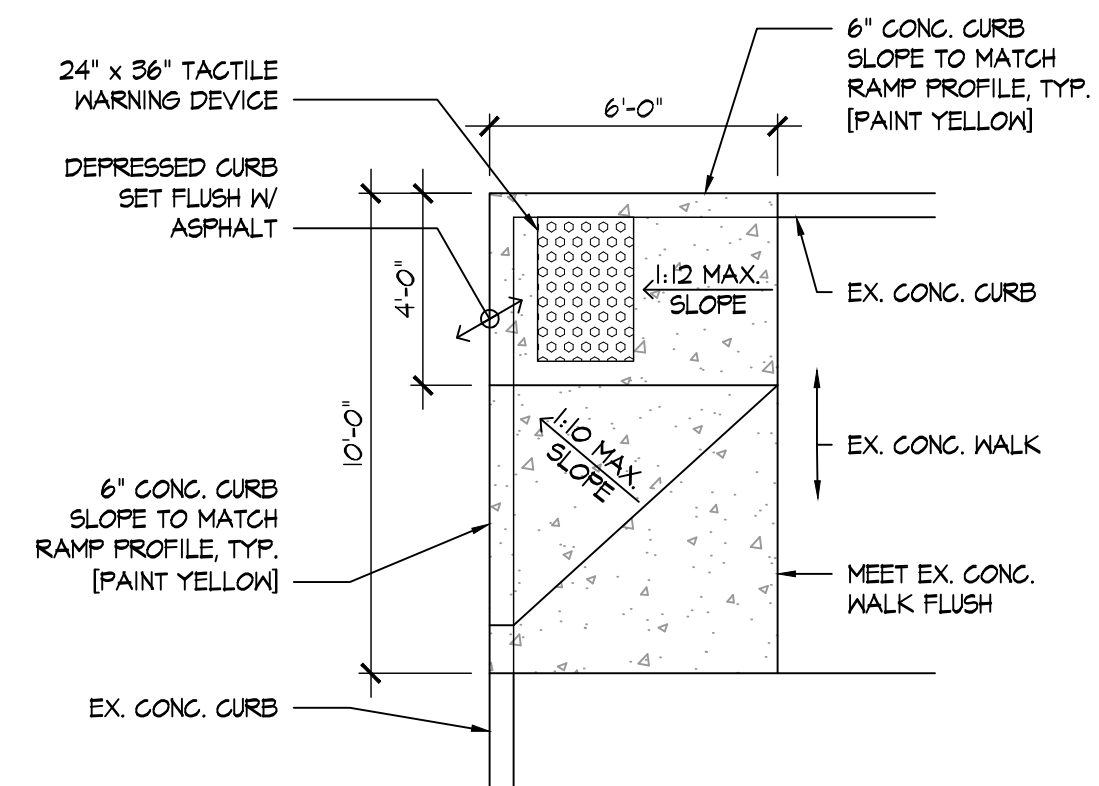
**F** ENLARGED RAMP PLAN  
SCALE: 1/4" = 1'-0"  
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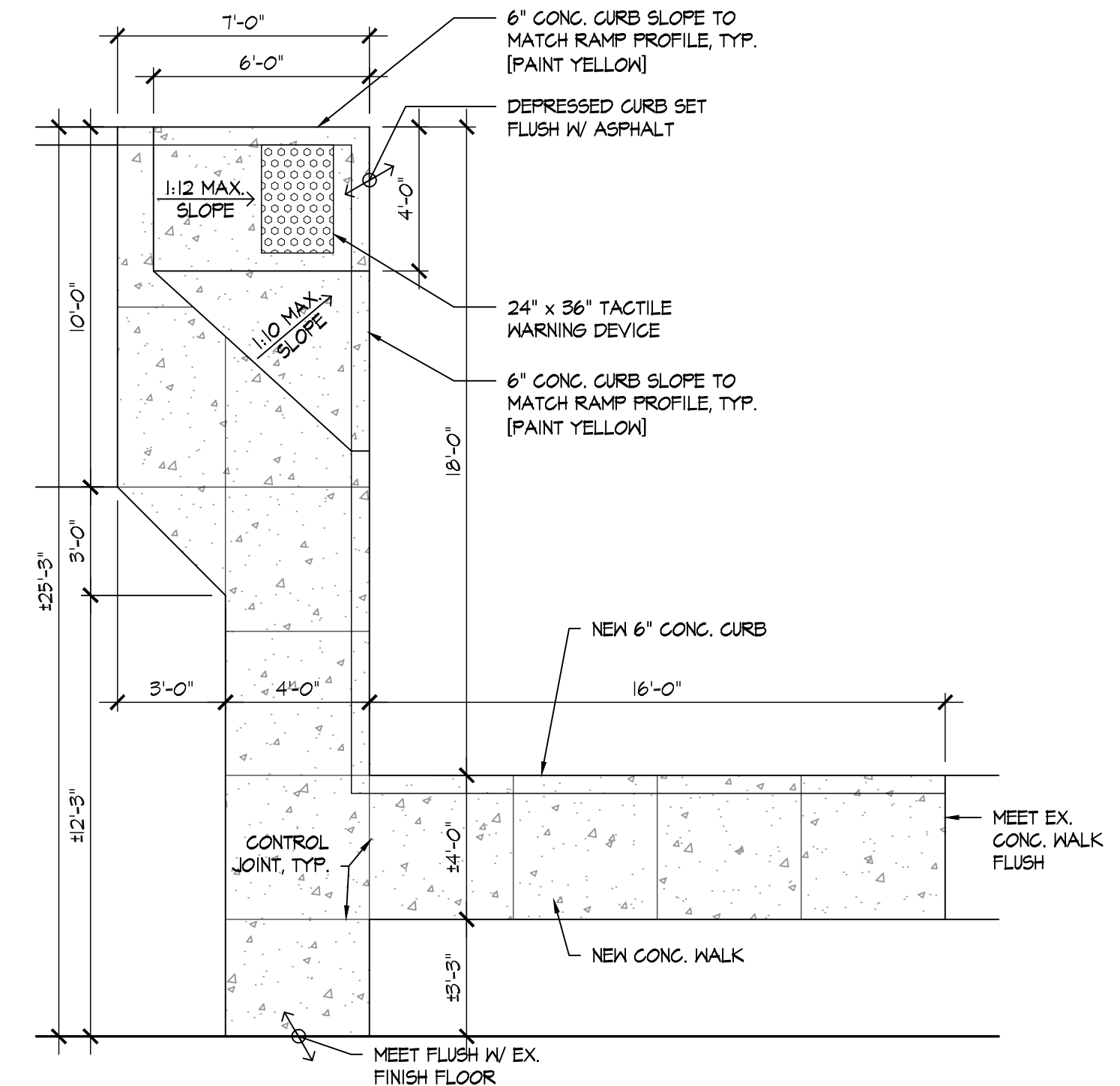
**E** ENLARGED RAMP PLAN  
SCALE: 1/4" = 1'-0"  
0 2 4 8 NORTH



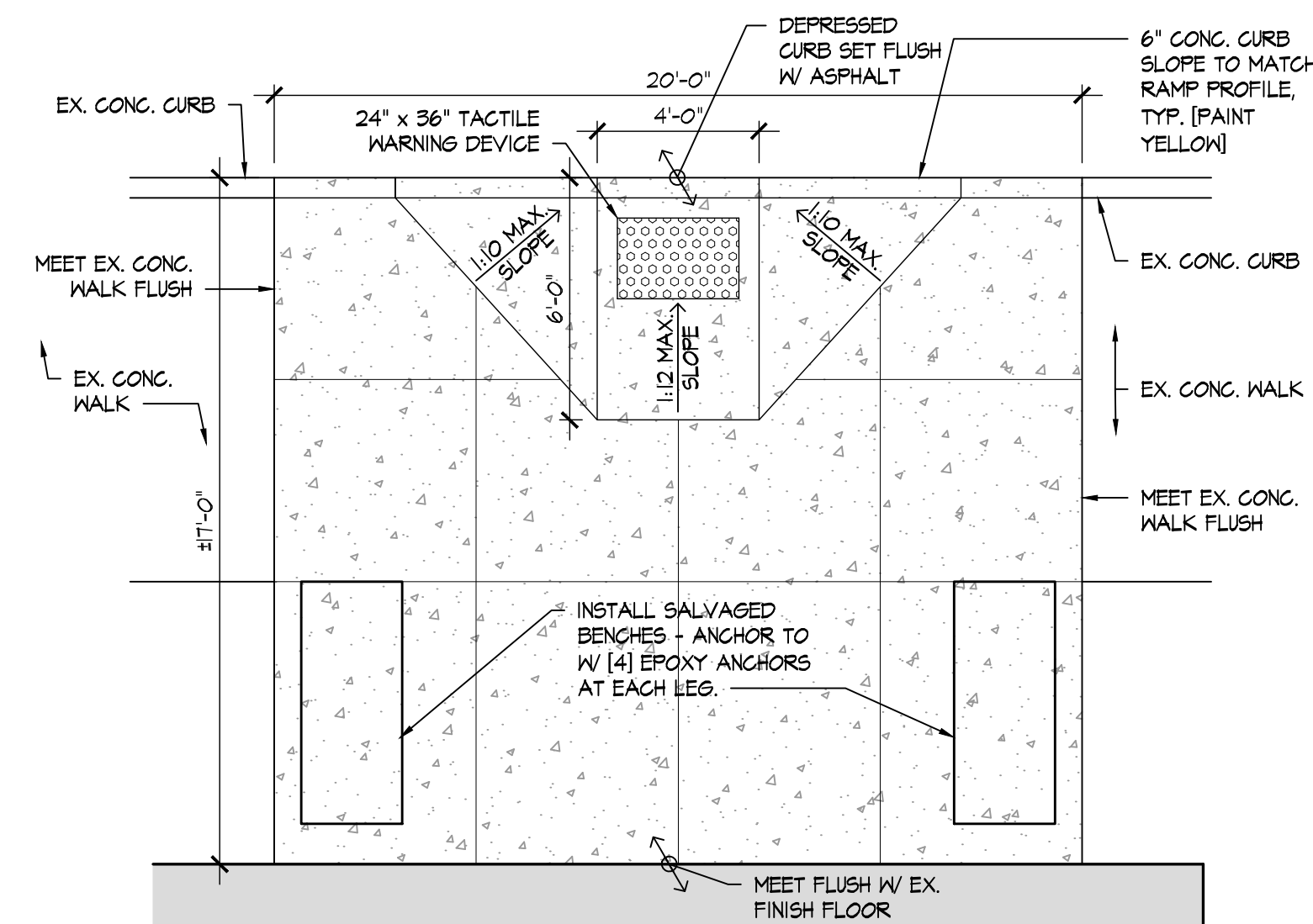
**D** ENLARGED RAMP PLAN  
SCALE: 1/4" = 1'-0"  
0 2 4 8 NORTH



**C** ENLARGED RAMP PLAN  
SCALE: 1/4" = 1'-0"  
0 2 4 8 NORTH



**B** ENLARGED RAMP PLAN  
SCALE: 1/4" = 1'-0"  
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**A** ENLARGED RAMP PLAN  
SCALE: 1/4" = 1'-0"  
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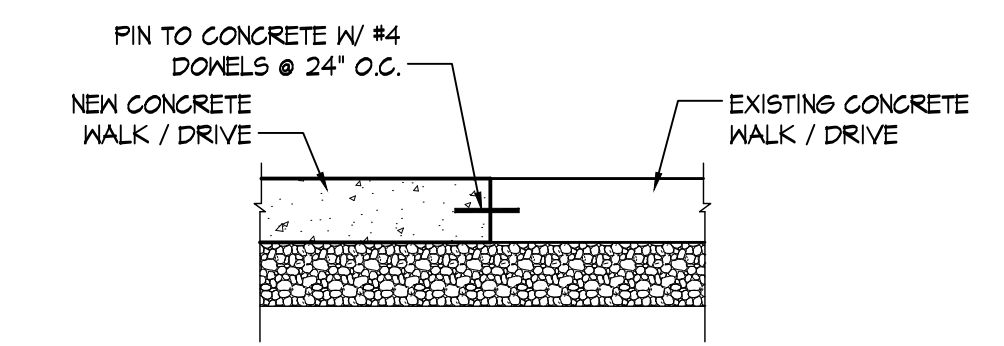
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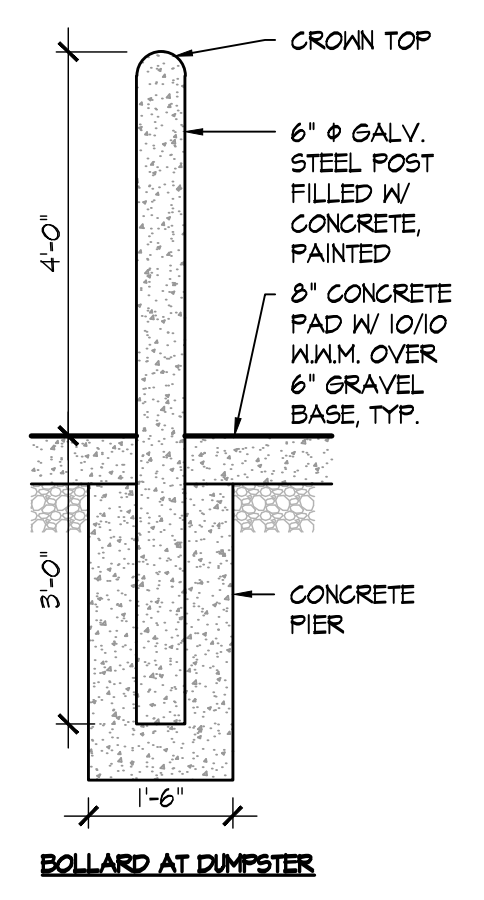
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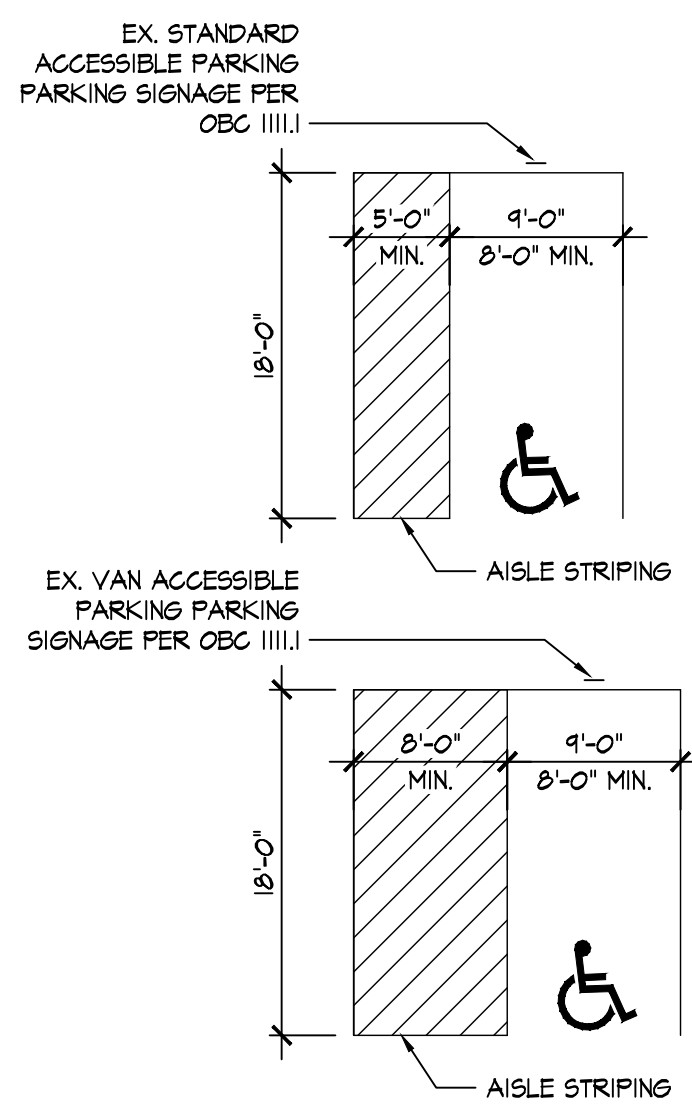
Print Record
04/27/22 PRELIMINARY
01/05/23 FINAL REVIEW
01/13/23 BID SET
Project Number
2022-043
Date
January 13, 2023
Sheet Title
ENLARGED PLANS
Sheet Number
<b>C1.3</b>



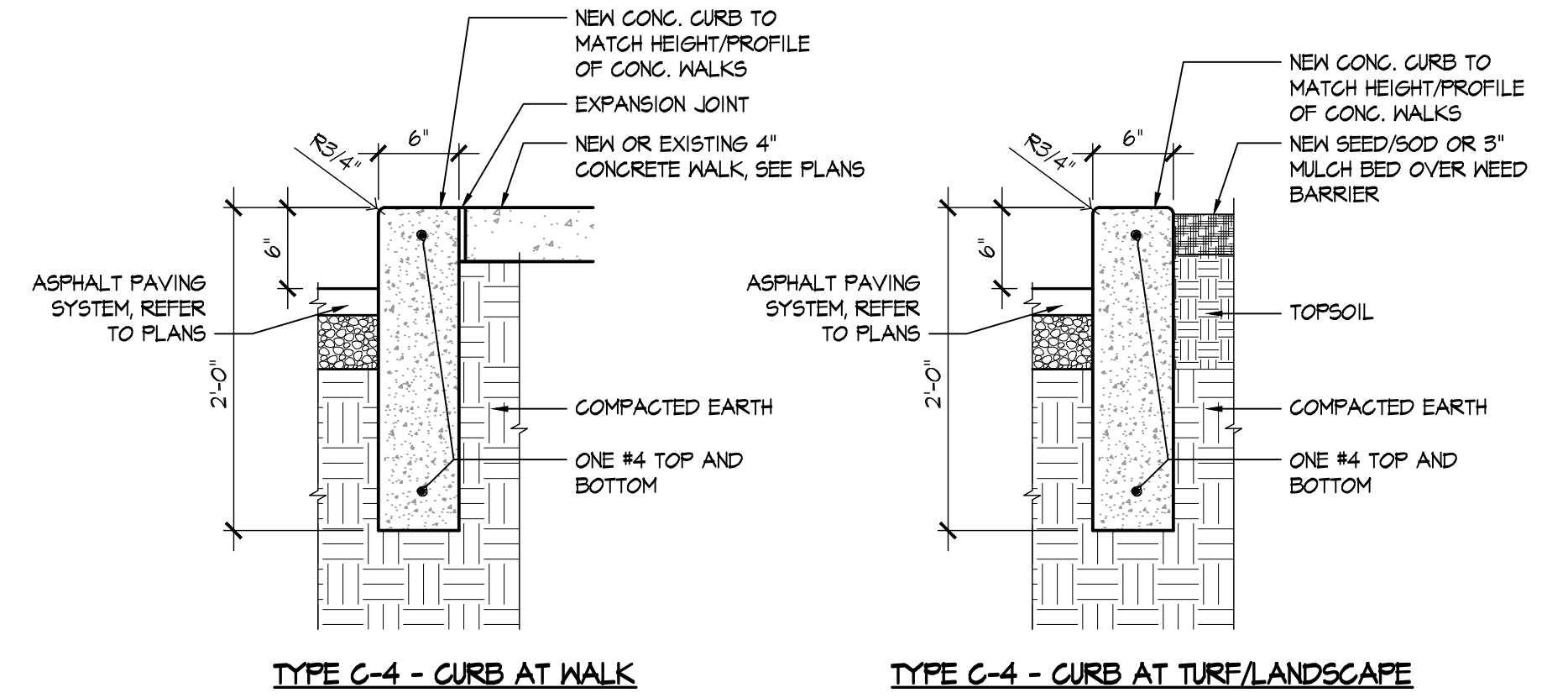
**D** **SIDEWALK DETAIL**  
SCALE: 1" = 1'-0"



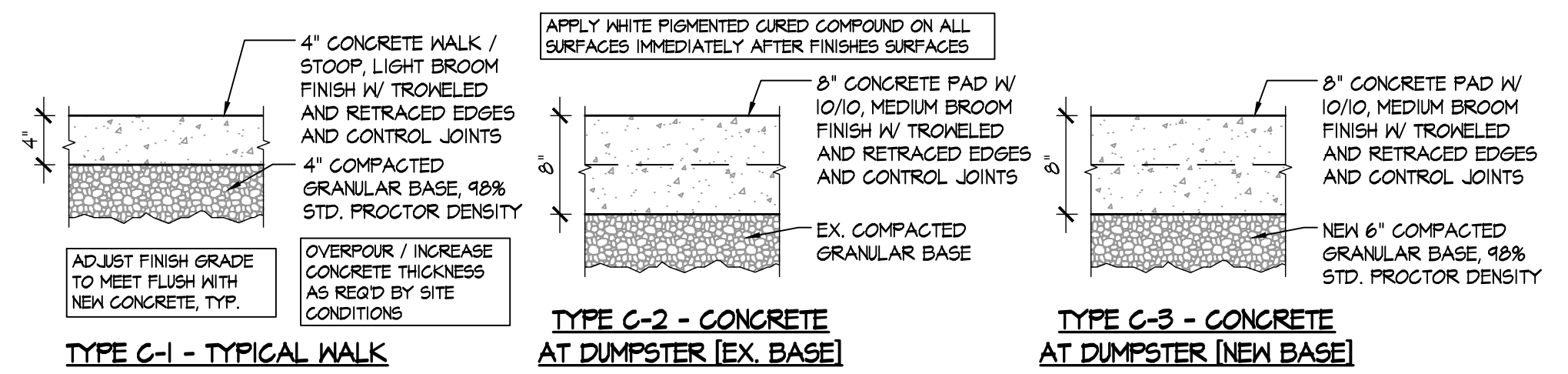
**F** **BOLLARD DETAILS**  
SCALE: 1/2" = 1'-0"



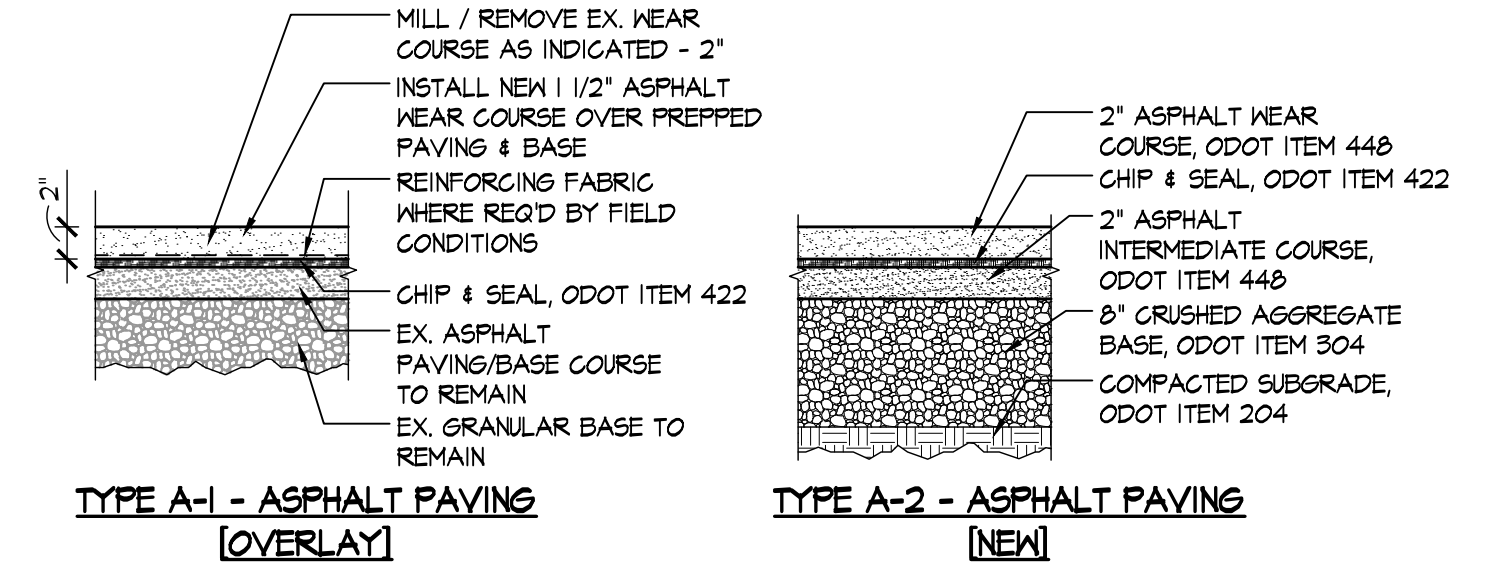
**E** **ACCESSIBLE PARKING STALL**  
SCALE: 1" = 10'-0"



**C** **TYPICAL CURB DETAIL**  
SCALE: 1" = 1'-0"



**B** **TYPICAL CONCRETE DETAILS**  
SCALE: NTS



**A** **TYPICAL ASPHALT PAVING DETAILS**  
SCALE: NTS

Asphalt & Concrete Replacement 2023 at:  
**WMHA Metropolitan Village**  
990 East Ridge Drive  
Lebanon, Ohio 45036

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01/13/23 BID SET

Project Number  
2022-043  
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January 13, 2023  
Sheet Title  
DETAILS

Sheet Number

**C1.4**